Application for Amendment to Special Use

Al-Azhar Islamic Foundation

160 Hawthorne Road, Barrington Hills, Illinois 60010

Established in 1995, Al-Azhar Islamic Foundation (the "Foundation") was founded by a group of Chicagoland's Egyptian American Muslims. The name of the organization was inspired by al-Jame'e alAzhar, the 10th century center of Islamic knowledge and learning in Cairo, Egypt.

The Al-Azhar Foundations prayer center in Barrington Hills was established twenty-five (25) years ago, and has since been serving its members, and many more who reside around it, by offering a welcoming place for all: the youth and the older generation, women and men, Muslims and non-Muslims. The Barrington Hills Prayer Center is located at 160 Hawthorne Road. A legal description of the property is attached hereto as Exhibit A.

The special use required for a religious institution at the site was originally approved by Resolution 00-30, a copy of which is attached hereto as Exhibit B. The special use was amended in 2021 to allow for an increased parking area by Ordinance 21-06, a copy of which is attached hereto and Exhibit C.

The Foundation now seeks to amend its existing special use to allow for construction of a multi-purpose interior prayer and assembly space on the north side of the existing prayer center building. Detailed plans showing the existing and proposed site plan amendments are attached hereto as Exhibit D. The proposed addition contains approximately two thousand seven hundred (2,700) square feet and will consist of a single story with a ceiling height of ten (10) feet. A basement multi-purpose room will also be added below grade.

The Foundation does not anticipate an increase in the size of its current congregation, or an increase in traffic resulting from the proposed new construction. The change to the site plan is to offer a less restrictive prayer and gathering space for the existing community. No additional parking is anticipated to be necessary as a result of the modifications to the site plan, no additional parking area is requested as a part of this application, and no modifications to the existing ingress or egress from the property are requested as part of this application.

The proposed modification to the site plan would not reduce any current setback, would be well within the maximum FAR for residential uses in the R-1 District, and would otherwise comply with the specifically identified bulk regulations of the R-1 Zoning District. All new construction would fully comply with the Building Code requirements of the Village of Barrington Hills.

The proposed amendment to the special use meets each of the six (6) requirements set forth in the Village Zoning Code, as follows:

1. The establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.

Al-Azhar Foundation provides a spiritual center for the area's American Muslim community. The Foundation provides a safe environment where the community can practice and engage with its faith, pose questions and provide answers to pertinent contemporary issues, and help its members be upright American Muslims who proudly serve their families, neighbors, and community.

The Foundation promotes the health, safety, morals and general welfare of the community through youth and children's activities and educational programs, women's group activities, and community engagement.

2. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The proposed amendment to the special use will not change the nature of the use of the Prayer Center which has been operating at the site for twenty-five (25) years. The proposed amendment will simply expand the gathering space for the existing community to allow for more comfortable gatherings for prayer and educational services. Al-Azhar Foundation has a generally positive relationship with neighboring property owners and has received no complaints for its ongoing operations at the site. The proposed amendment will not change the use of the site, and is consistent with the character and uses of the surrounding area which include two other religious institutions.

3. The lot line between the proposed prayer space and the nearest adjacent property owner has a high and dense screen of mature vegetation which would entirely limit the visual impact of the proposed new construction.

It is not anticipated that the proposed site plan will have any impact on the use or enjoyment of other properties in the immediate vicinity for the purposes permitted, nor is it anticipated that the proposed gathering space will have any impact on the property values of neighboring property owners.

4. The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and

The special use at the site has been in continuous operation for twenty-five (25) years. The surrounding properties are fully developed with residential, agricultural and religious uses. The proposed additional gathering space would have no impact on the orderly development and improvement of surrounding property for permitted or special uses allowed in the R-1

District. The continued use of the property for religious purposes is in harmony with the surrounding area which contains two (2) other religious institutions.

5. Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

The proposed site plan indicates that existing utility service will be sufficient to service the proposed additional gathering space. The site has more than sufficient drainage with a detention area located on site. Preliminary stormwater and engineering plans are attached hereto as Exhibits E and F.

 Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public and roads.

The proposed amendment to the special use will not change the nature of the use of the Prayer Center which has been operating at the site for twenty-five (25) years. The proposed amendment will simply expand the gathering space for the existing community to allow for more comfortable gatherings and prayer services.

The Foundation does not anticipate an increase in the size of its current congregation, nor will an increase in traffic result from the proposed new construction. Currently the Prayer Center has little to no impact on traffic patterns in the vicinity. The Foundation does not anticipate any changes to the existing traffic patterns as a result of the proposed Amendment to Special Use.

7. The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees pursuant to the recommendation of the Zoning Board of Appeals.

The proposed modification to the site plan is fully compliant will not reduce any current setback, would be well within the maximum FAR for residential uses in the R-1 District, and would otherwise comply with the specifically identified bulk regulations of the R-1 Zoning District. All new construction would fully comply with the Building Code requirements of the Village of Barrington Hills.

Abdel Noureldin, President of the Al Azhar Islamic Foundation, the owner of the subject property, certifies that all of the above statements and other information submitted as part of this application are true and correct to the best of his knowledge.

Abdel Noureldin,

President

Al Azhar Islamic Foundation

8/7/2025 Date

"OFFICIAL SEAL"

LEEMARYS TORRES SEPULVEDA

Notary Public, State of Illinois

Commission No. 0994409
My Commission Expires July 31, 2028

EXHIBIT A

LEGAL DESCRIPTION

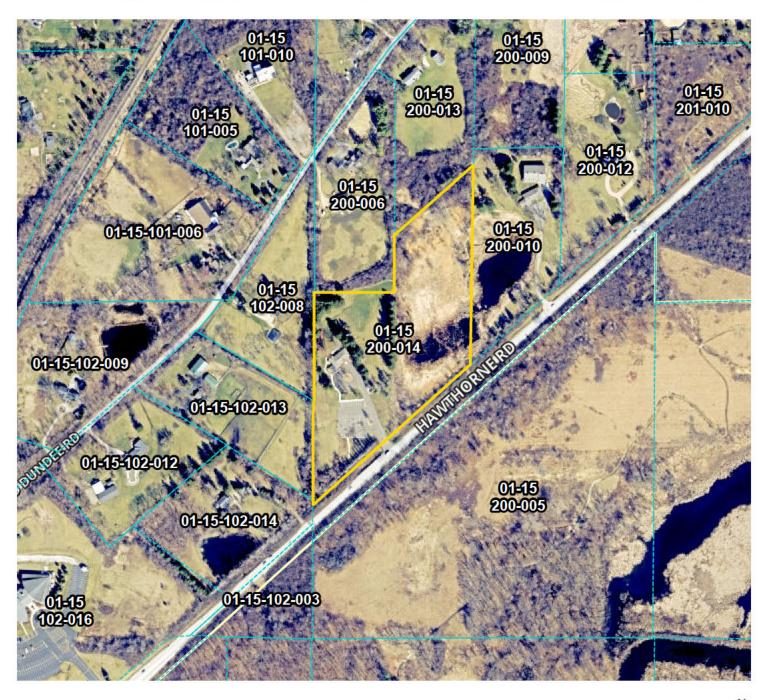
160 HAWTHORNE ROAD, BARRINGTON HILLS, ILLINOIS

LEGAL DESCRIPTION

PARCEL 1: THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE EAST 300 FEET OF THE WEST 612.49
FEET AS MEASURED ON THE NORTH LINE THEREOF OF THE WEST HALF OF
THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE
9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE
CENTER OF STATE HIGHWAY ROUTE NUMBER 63, ALSO KNOWN AS NEW
DUNDEE ROAD AND SOUTH OF A LINE 627 FEET NORTHWEST OF AS
MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE CENTER LINE
OF STATE HIGHWAY ROUTE NUMBER 63, IN COOK COUNTY, ILLINOIS.

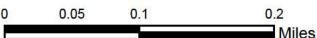




Legend

Selected Parcels

Source Parcel
Parcels Current



Map generated from CookViewer, Cook County's Parcel Viewer application maintained by the Bureau of Technology's GIS Division. For parcel and property identification number (PIN) questions, contact the Cook County Clerk's Office. For property detail and accessment

For parcel and property identification number (PIN) questions, contact the Cook County Clerk's Office. For property detail and assessment questions, contact the Cook County Assessor's Office. For property tax bill questions, contact the Cook County Treasurer.

Cook County Bureau of Technology - GIS Division. Cook County Clerk. Cook County Assessor.

Map Created: 8/1/2025

Owner of Subject Property: Al-Azhar Islamic Foundation

160 Hawthorne Road Barrington Hills, IL

PIN: 01-15-200-014-0000

Properties within 250 feet of Subject Property (indicated by PIN on attached Map):

PIN	Street Address	City State Zip	Name	Mailing Address
01-15-200-006-	129 OLD	BARRINGTON HILLS, IL	Katarzyna Szymczak STA	129 Old Dundee Road, Barrington, IL 60010
0000	DUNDEE RD	60010		and States And
01-15-200-005-	129 OLD	BARRINGTON HILLS, IL	Forest Preserve District of Cook	536 North Harlem Avenue, River Forest, IL
0000	DUNDEE RD	60010	County	60305
01-15-102-014-	170	BARRINGTON HILLS, IL	Charles Yakich Trust	5200 E Doubletree Road, Paradise Valley,
0000	HAWTHORNE RD	60010		AZ 85253
01-15-102-013-	145 OLD	BARRINGTON HILLS, IL	Michael Collins	145 Old Dundee Road, Barrington Hills, IL
0000	DUNDEE RD	60010		60010
01-15-102-003-	165	BARRINGTON HILLS, IL	Forest Preserve District of Cook	536 North Harlem Avenue, River Forest, IL
0000	HAWTHORNE RD	60010	County	60305
01-15-200-013-	127 OLD	BARRINGTON HILLS, IL	Francis E Goodman	127 Old Dundee Road, Barrington, IL 60010
0000	DUNDEE RD	60010		
01-15-200-010-	150	BARRINGTON HILLS, IL	Kimberly K Priola	150 Hawthorne Road, Barrington, IL 60010
0000	HAWTHORNE RD	60010	1000 to	
01-15-200-009-	125 OLD	BARRINGTON HILLS, IL	Yaser Siraj	125 Old Dundee Road, Barrington, IL 60010
0000	DUNDEE RD	60010	MARION .	00 000st 244
01-15-102-008-	139 OLD	BARRINGTON HILLS, IL	Carolyn J Wells	PO Box 527, Barrington, IL 60011
0000	DUNDEE RD	60010	potens.	Mg MACCO MM

5535/0122 30 001 Page 1 of General 2000-08-22 15:19:03 WARRANTY DEED Cook County Recorder MAIL TO: Rasha Elganzouri 2445 M. Street N.W. Washington, DC 2--37 NAME & ADDRESS OF TAXPAYER: Al-Azhar Islamic Foundation 160 Hawthorne Rd. Barrington Hills, Illinois 60010 GRANTOR(S), Ted Dziewulski Declaration of Trust, dated August 8, 1995. of Barrington Hills in the County of Cook, in the State of Illinois, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, CONVEY(S) and WARRANT(S) to the GRANTEE(S), Al-Azhar Islamic Foundation of 633 Skokie Blvd., Suite 405, Northbrook in the County of Cook, in the State of Illinois, the following described real estate: THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS. Permanent Index No 01-15-200-007 Property Address: 160 Hawthorne Rd. Barrington Hills, Illinois 60010 SUBJECT TO: (1) Gemeral real estate taxes for the year 1999 and subsequent Homestead Exemption Laws of the State of Illinois. *not yet due or payable. day of DATED thi Andrew M. Dziewolski, Trustee STATE OF ILLINOIS SS COUNTY OF COOK I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that Ted Dziewulski Declaration of Trust,

WARRANTY DEED - Page 1 ASSOCI

ASSOCIATED PARALEGAL SERVICES
799 Roosevelt Rd. Bldg. 6 Suite 120
Glen Ellyn, 12 60137 PRO OP 24880

dated August 8, 1985. personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this



day in person, and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notary seal, this 5 day of

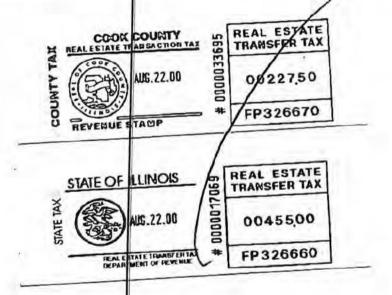
(seal)



COUNTY - ILLINOIS TRANSFER STAMPS
Exempt Under Provision of
Paragraph Section 4,
Real Estate Transfer Act
Date:

Prepared By:
Dwight C. Adams
138 W. Station St.
Barrington, Illinois 60010

Signature:



RESOLUTION GRANTING A SPECIAL USE PERMIT FOR 160 HAWTHORNE ROAD

WHEREAS, Section 5-10-7 of Zoning Code of the Village of Barrington Hills ("Village") authorizes the Village Zoning Board of Appeals ("ZBA") to recommend, and the Board of Trustees to approve, special uses within the zoning districts of the Village; and

WHEREAS, Section 5-5-3(A) of the Village Zoning Code classifies as a special use churches, chapels, temples and synagogues; and

WHEREAS, Section 5-10-7(E) of the Village Zoning Code establishes standards which must be met before the ZBA may recommend approval of a special use; and

WHEREAS, the ZBA concluded its public hearing on November 20, 2000, on the petition (the "Petition") of the Al-Azhar Islamic Foundation ("Applicant") for the granting of a special use to permit the renovation and improvement of the property commonly known as 160 Hawthorne Road, Barrington Hills and legally described on Exhibit A attached hereto and made a part hereof (the "Property"), and made all necessary findings of fact as to compliance with the standards set forth in Section 5-10-7(E) of the Village Zoning Code, and recommended that the special use be granted; and

WHEREAS, notice of the public hearing was published in a timely manner in the Barrington Daily Herald as well as posted in the Village Hall, and individual notice was provided to all property owners within two hundred fifty feet (250) of the Property, as recorded in the Tax Assessor's office of Barrington Township; and

WHEREAS, the ZBA included in its recommendation the stipulation that the renovations and improvements be constructed substantially as shown on the exhibits to the Petition presented to the ZBA at the public hearing; and

WHEREAS, pursuant to Section 5-10-7(F) of the Village Zoning Code, prior to the granting of any special use, the Board of Trustees may stipulate such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the special use as are deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified in Section 5-10-7(E).

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Barrington Hills, Cook, Kane, Lake and McHenry Counties, Illinois, as a home rule municipality the following:

Section One. The special use permit for the operation of a religious institution on the Property as outlined in Applicant's Petition is hereby granted, on the conditions set forth herein.

<u>Section Two</u>. The Property shall be improved as described on the exhibits to the Petition presented to the ZBA at the public hearing or as may be necessary to comply with the Village Code.

Section Three. Pursuant to Section 5-10-7(F) of the Village Zoning Code, the special use granted by this Ordinance shall be effective only for six (6) months from the date hereof, unless the Applicant takes action within such six (6) month period to extend such time period.

Section Four. If any part or provision of this Resolution shall be held or deemed invalid, such invalidity shall not have the effect of rending another part or provision of this Resolution invalid.

This Resolution shall be in full force and affect from and after its passage and approval as provided by law.

Village President

APPROVED THIS 18TH DAY OF DECEMBER, 2000.

AYES: 7; NAYS: O; ABSENT: O.

Deputy Village Clerk

ATTEST:

AN ORDINANCE GRANTING AN AMENDMENT TO AN EXISTING SPECIAL USE PERMIT FOR THE EXPANSION OF THE PARKING LOT AT 160 HAWTHORNE ROAD

WHEREAS, the Village of Barrington Hills ("Village") is a duly organized and existing Illinois home rule municipality pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 et seq.; and

WHEREAS, Section 5-10-7 of the Village's Zoning Code authorizes the Zoning Board of Appeals ("ZBA") to recommend, and the Board of Trustees to approve, special uses within the zoning districts of the Village; and

WHEREAS, the Board of Trustees of the Village, pursuant to Resolution 00-30 approved a special use permit for a religious institution use on the property located at 160 Hawthorne Road; and

WHEREAS, pursuant to Resolution 00-30 the Al-Azhar Islamic Foundation has been using the property for the past 20 years for a religious institution, with associated 20-space parking facility; and

WHEREAS, the Al-Azhar Islamic Foundation ("Applicant") has applied for an amendment to the existing special use to allow it to increase available parking on site to allow 45 parking spaces to better serve the Foundation attendees; and

WHEREAS, on April 19, 2021, the Zoning Board of Appeals ("ZBA"), with a quorum present, held a public hearing on the application, prior to which time a notice of the public hearing was published in a timely manner in the Daily Herald as well as posted in the Village Hall, and individual notice was provided to all property owners as required by the zoning code and notice of said hearing was properly posted on the Property; and

WHEREAS, in support of its application to amend the special use the Applicant has submitted, among other documents, a Preliminary Engineering Plan prepared by Lambert and Associates, dated April 29, 2021, attached hereto as Exhibit A, which, among other information depicts the location of the expanded parking lot; and

WHEREAS, Section 5-10-7(D) of the Village Zoning Code provides that for each application for a special use, the ZBA shall report to the Board of Trustees of the Village its findings and recommendations, including the stipulations of additional conditions and guarantees that such conditions will be complied with when they are deemed necessary for the protection of the public interest; and

WHEREAS, Section 5-10-7(E) of the Village Zoning Code establishes standards which the ZBA deems to have been met before it may recommend approval of the special use permit or any amendment thereof; and

WHEREAS, at the close of the public hearing, the ZBA made necessary findings of fact, as set forth in the attached Exhibit B, as to compliance with the standards set forth in Section 5-10-7(E) of the Village Zoning Code, and recommended that the requested amendment to the special use be granted to allow for the expanded parking lot, subject to the following conditions:

- 1. To require the setback of the pavement/access of the parking lot to be at least 50 feet from the property line of adjacent properties; and
- 2. To require low temperature lighting installation; and

WHEREAS, the President and the Village Board of Trustees has considered the matter and determined that the recommended amendment to the existing special use permit for the property located at 160 Hawthorne Road be approved, with the condition as required by the ZBA.

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of Barrington Hills, Cook, Kane, Lake and McHenry Counties, Illinois, as a home rule municipality the following:

SECTION ONE: That the foregoing recitals are hereby incorporated by reference as though fully set forth herein.

SECTION TWO: The ZBA's findings of fact and recommendation as set forth in Exhibit B is accepted and incorporated herein by reference.

SECTION THREE: The amendment to the existing special use permit for the purposes set forth herein is hereby granted, predicated on the engineering plan, and with general conformance with the landscaping shown therein, attached hereto as Exhibit A and subject to the following conditions:

- To prohibit parking in the setback;
- 2. To require the setback of the pavement/access of the parking lot to be at 100 feet from the property line of adjacent properties; and
- To require low temperature color lighting installation.

SECTION FOUR: If any part or provision of this Ordinance shall be held or deemed invalid, such invalidity shall not have the effect of rendering another part or provision of this Ordinance invalid.

SECTION FIVE: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Barrington Hills, Illinois, this 24th day of May, 2021.

Ayes: 6 (Strauss, Ekstrom, Buettner, Konicek, Croll, Cecola)

Nays: o

Absent: 1 (Riff)

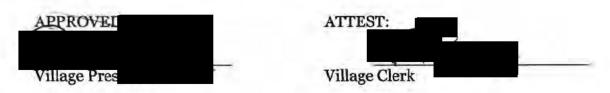
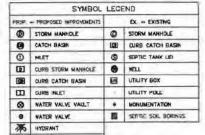


EXHIBIT A PRELIMINARY ENGINEERING PLAN



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	- EX METAL FENCE
	- EX. WOOD FENCE
	- D. BURED ELECTRIC LINE
	- M EX BURRED GAS LINE
	- EX. BURED TELEPHONE CABLE
DIV .	- EX. OVERHEAD WIRES
v	- EX WATER MAIN
	- EL SANTARY SEWER
	- EX. STORM SEWER
	PROPOSED SANITARY SEWER
»—	- PROPOSED STORM SEWER
v_	PROPOSED WATER HAIN
	- PROPOSED SILT FENCE
y-	- PROP UNDERGROUND UTILITIES
	PROPOSED R.C W.

= PROPOSES PARSA CONTIDE

= DOSTING CONTOUR

F DOS.D: = PROPOSES GRADE

EX DOS.D: = EXISTING GRADE

STEEL POST





SPECIAL NOTES:

"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO". THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE OF THE ENGINEER ON THE TITLE PAGE OF A BOUND SET.

PRELIMINARY ENGINEERING FOR

AL-AZHAR

160 HAWTHORNE RD BARRINGTON HILLS, ILLINOIS

OWNER

AL-AZHAR ISLAMIC FOUNDATION 160 HAWTHORNE BARRINGTON HILLS

CONTRACTOR

CIVIL ENGINEERING AND LAND SURVEYING PREPARED BY:

SAM POLENA, PE - CIVIL ENGINEER

WWW.LT-PE.COM

WWW.LAMBERTSURVEY.COM



815-363-9200

LANDTECH@LT-PE.COM

Lambert & Associates

MCHENRY OFFICE

WHEATON OFFICE 630-653-6331 INFO@LAMBERTSURVEY.COM



POLENA ENGINEERING LLC COMPANIES

INDEX

SHEET NO. DESCRIPTION

01. TITLE SHEET

02. EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN

03. SITE GRADING PLAN

.....

Coll Refore You Dig

LAMBERT & ASSOCIATES
939 W. LIBERTY DR
WHEATON, IL 60187
P: (630)653-6396
E: INFOOLMBERTSURFER.CG

CIVIL ENGINEERING AND LAND SURVEYING SERVICES

LAND
TECHNOLOGY
P: (815)363-9200
F: (815)363-9223
E: LANDTECHOLT-PE.GOM

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	TITLE SHEET:	160 HAVTHORNE RD, BARRINGTON HILLS FIN: 01-16-200-007 CLIENT: AL-AGHAR	REVISES PARIONO LOT LATOUT AND SITE DATA.	REVISES BARRONG LOT LAFOUT AND STE-BATA.
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		160	12/18/21	4759758

GEOWER POWERS OF THE POWERS OF

REVISE REV 1

DRAWN BY: SSP/DTM

CHCK'D BY: 55P

DATE: 9/10/20

PAGE 1 OF 3

DRAWING NUMBER: 18-251L

ZONING

INCORPORATED BARRINGTON HILLS ZONING DESIGNATION: R1

OVERALL SITE DATA

TOTAL DISTURBED AREA = 3 ACRES

TOTAL SITE AREA = 5.40 ACRES

TOTAL EXISTING AREA = 36824 SQ.FT. = 0.85 ACRES

DRIVE = 23853 SQ.FT.

DEMO ALL EX. DRIVE

WALK = 2187 SQ.FT.

BUILDING = 3048

ROAD = 7736 SQ.FT.

TOTAL ADDED IMPERVIOUS AREA = 35175 SQ.FT. = 0.81 ACRES

DRIVE = 35175 SQ.FT.

NET IMPERVIOUS ADDED = 13764 SQ.FT. = 0.32 ACRES

50588-35175 = 15413 SQ.FT.

POST-CONSTRUCTION IMPERVIOUS = 48146 SQ.FT. = 1.11 ACRES

DRIVE = 23653-23853+35175 = 35175 SQ.FT.

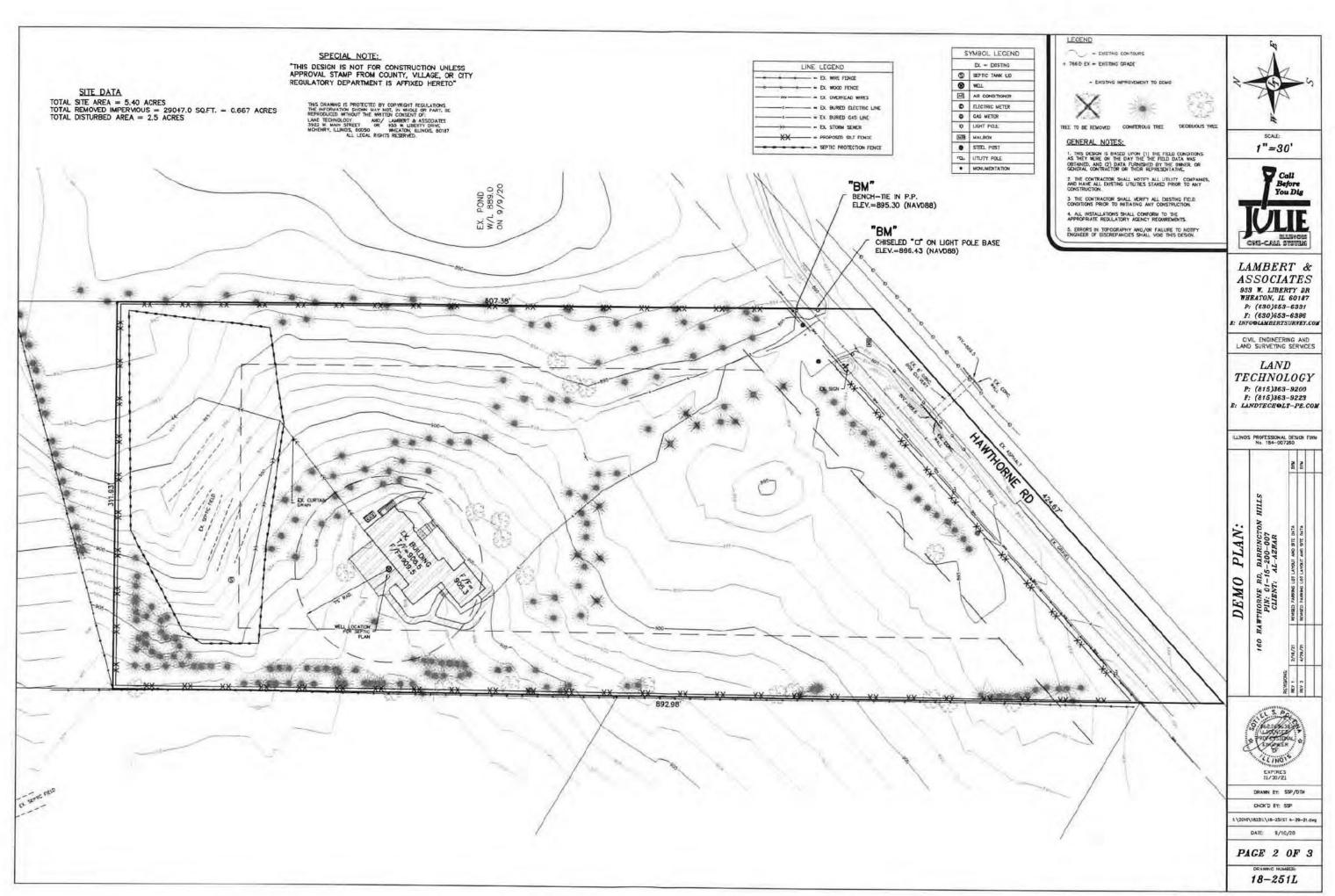
WALK = 2187 SQ.FT.

BUILDING = 3048 SQ.FT.

ROAD = 7736 SQ.FT.

POST-CONSTRUCTION COVERAGE = 20.6%

MAX IMPERVIOUS = 50% = 2.70 ACRES



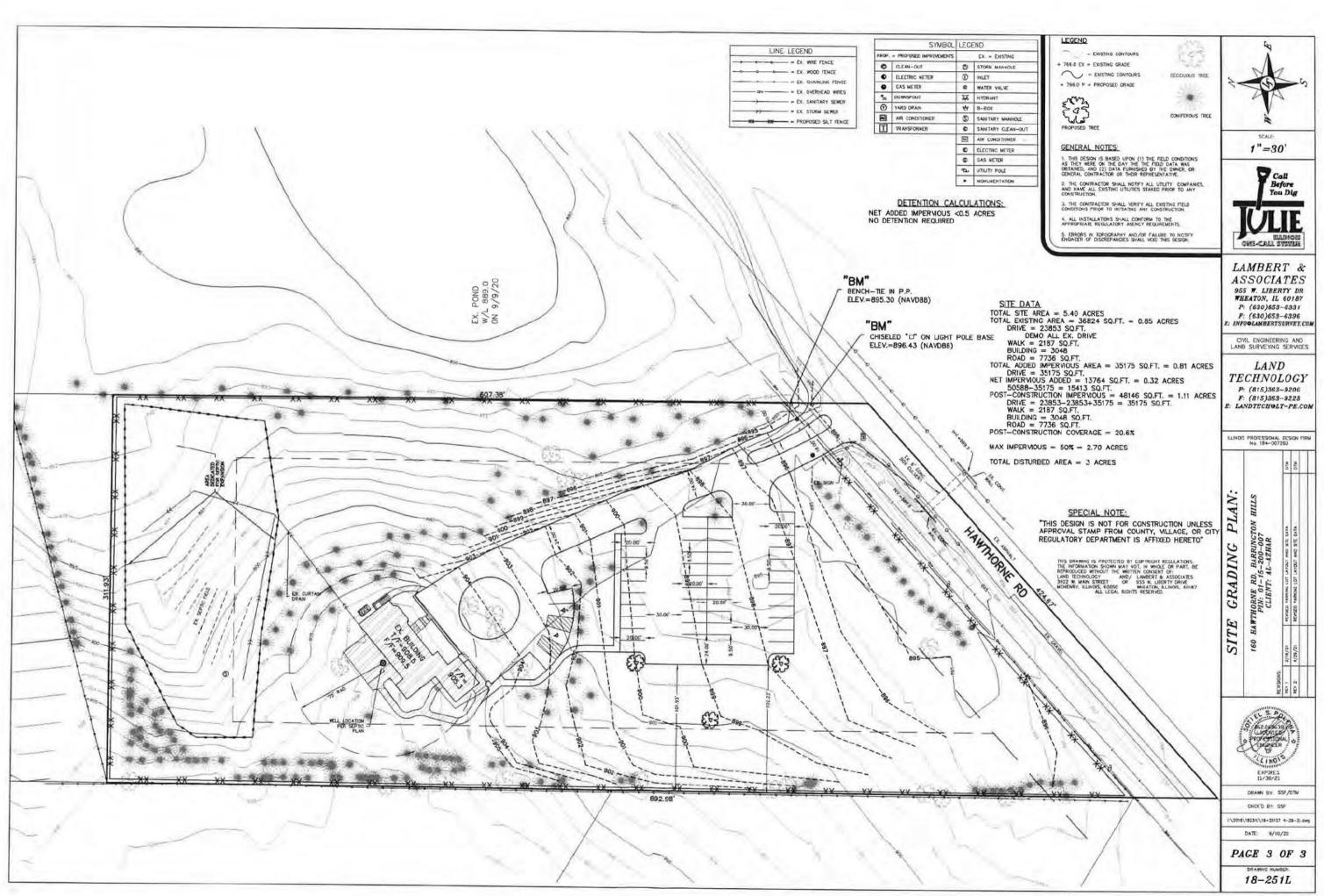


EXHIBIT B ZBA FINDING OF FACTS

April 30, 2021

To: President and Board of Trustees

Village of Barrington Hills

RE: Application for Amendment to

Special Use Permit to Allow Expansion of the Parking Lot at 160

Hawthorne Road

This is to advise you that at a public hearing of the Zoning Board of Appeals ("ZBA") was held on April 19, 2021, where a quorum was present, the ZBA considered the application of the Al Azhar Islamic Foundation for the grant of an amendment to an existing special use permit to allow for expansion of the parking lot associated with the mosque on its property at 160 Hawthorne Road ("Property"), identified by PIN. 01-15-200-007.

Notice of the hearing was published in a timely manner in the Daily Herald as well as posted at the Village Hall. Proof of individual notice, by registered mail, return receipt requested, was submitted for property owners within 250 feet as recorded in the office of the appropriate tax assessor, and the notice of the hearing was properly posted on the Property.

The Applicant was represented at the public hearing by its attorney Thomas G. Gardiner, Amr Abdelmonem, President of the Foundation Board, and Sam Polena, the project's civil engineer, each of whom testified in support the Application for amendment to the existing special use permit, which is on file with the Village.

FACTS

Village Administrator Paul testified to the notice provided for hearing. Attorney Thomas G. Gardiner, representative of the applicant, testified in furtherance of the notice.

Mr. Gardiner testified that the Applicant had sought zoning relief to expand its parking lot and that the ZBA had approved the Application, but that Village Board had concerns which prompted the Applicant to revise its plans and withdraw its prior Application. It is now applying to expand its existing parking lot to 45 spaces and has removed the spaces bordering on neighboring properties. It has also committed to planting 100 additional trees to provide a buffer, and that with the downsizing of the parking it no longer has any issue to address with storm water movement. Relative to concerns about lighting, the Applicant is committed to motion-activated lights. Mr. Gardiner referenced the response to the finding of facts required for issuance of the amended special use permit, contained in the Application. If approved, the Applicant acknowledges it will be subject to all permitting requirements of the Village, and that it has taken steps to address all engineering concerns.

Amr Abdelmonem, the President of the Board, was placed under oath and testified that the increase in parking is from 19 to 45 spots, and that the Applicant has an occupancy limit of 130; thus, the parking is compatible with this limit. With the reduction in parking, the Applicant will require pre-registration for events to limit the number of people attending, and that certain events will now not be held at the Foundation property. In response to questions relative to stacking of cars awaiting ingress, Mr. Abdelmonem responded that it is not an issue now.

Resident Carolyn Wells, 189 Old Dundee Road, was placed under oath and testified in opposition to the Application, on behalf of herself and neighbors Mike and Carolyn Collins, Roberto Rizzo. She requested that the ZBA consider requiring a 100-foot set back of the parking from the property line, rather than the current setback.

Exhibit B ZBA Findings of Fact April 30, 2021 Page 2

Brett Burval, 128 Old Dundee Road, was placed under oath and testified questioning whether the Application would consider installing low temperature lighting to reduce the brightness of the lights in consideration of the neighboring properties.

Anthony Priola, 150 Hawthorne Road, was placed under oath and testified in support of the Application. He testified that the Foundation has been a great neighbor and that the plan which has been put together is in an attempt to be a good neighbor to all in the community. He asked the ZBA to approve the Application.

Lynn Levy, 227 Westfield Way, was placed under oath and testified that she is happy to see the number of parking spaces requested to lower to 45. Her primary concern is the safety of ingress/egress and the plan to plant arborvitae on the property, as this species is very popular with the deer population. Relative to ingress, Ms. Levy questioned whether it is legal to allow traffic to cross the existing double yellow road lane markings when turning left access the property.

Linda Cools, 32 Little Bend Road, was placed under oath and testified that the property is located in the R1 residential district and that it is admirable that the Applicant reduced the size of the parking they are requesting.

Roberto Rizzo, 129 Old Dundee, was placed under oath and testified in support of the proposed 100foot setback, to allow greater green space to exist between the proposed parking and the neighbors.

Mr. Abdelmonem testified that the Foundation would increase the setback if it could, as it desires to be a good neighbor.

In response, Member Goss stated it was not necessary to do so. The idea of a 100-foot setback is nice, not necessary in this instance. He stated sometimes it is a matter of people just not wanting a particular use in the residential community. Member Gigerich stated he believed the 50-foot setback was reasonable. Member Hennelly stated the ZBA had already approved the 50-foot setback when the Applicant was before the ZBA on its prior application.

The Applicant placed into the record the following facts required for the special use permit:

- The proposed expansion of the parking lot will comply with all applicable standards set forth by the Village. It will promote the mosque observations and serve the members of the mosque.
- 2. The expansion will have no impact on other property owners.
- 3. The expansion of the parking lot will not impede expansion or improvement of other properties and will occur entirely within the confines of the Foundation property.
- There are existing adequate utilities and drainage serving the property.
- There are no modifications needed to traffic, access to the property will not change.
- Expansion of the parking lot will conform in all respects with the Village Code.

FINDINGS

The ZBA reviewed the facts as set forth by the Applicant, and the testimony of residents. After having examined the facts as presented and taking into consideration the testimony set forth during the public hearing, by their vote to recommend approval of the Application, the majority of a quorum determined that the facts presented met the requirements of section 5-10-7.

Exhibit B ZBA Findings of Fact April 30, 2021 Page 3

RECOMMENDATION

Exhibit B ZBA Findings of Fact Page 3

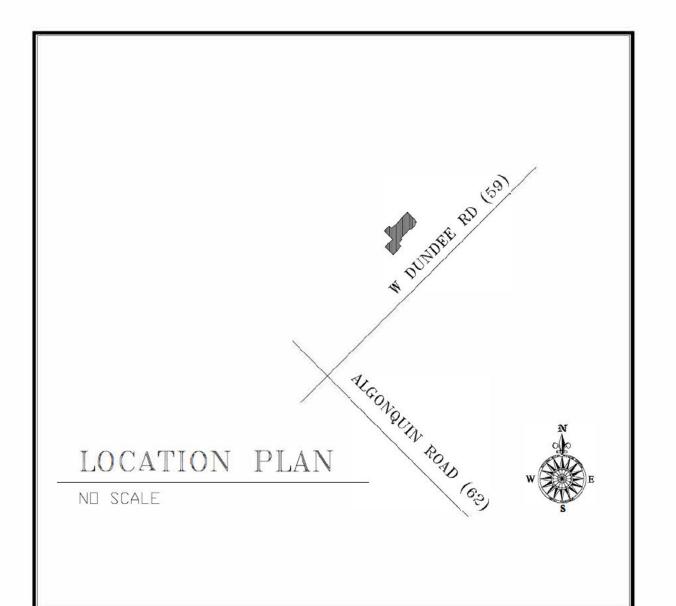
The ZBA recommends that the Village Board approve the request for amendment to the special use permit, voted 5-1 (1 member absent) to approve the request of the Applicant to amend it special use permit, subject to the following conditions:

- To require the setback of the pavement of the parking lot to be at least 50 feet from the property line of adjacent properties; and
- 2. To require low temperature lighting installation.

Respectfully submitted,

/s/ Daniel Wolfgram

Chairman Zoning Board of Appeals Village of Barrington Hills



AL-AZHAR ISLAMIC FOUNDATION 160 HAWTHORNE ROAD BARRINGTON HILLS, ILLINOIS

DESIGN LOADS: Load important factor catagory: I

SNOW L.L. - 30 PSF
SNOW EXPOSER FACTOR: EXPOSER B-1.0
SNOW LOAD IMPORTANT FACTOR = 1.0
THERMAL FACTOR - 1.0
SNOW CLASSIFICATION - IIIA

EARTHQUAKE ZONE - 1 SEISMIC HAZARD EXPOSURE GROUP = II SEISMIC IMPORTANT FACTOR: 1.0

WIND LOAD IMPORTANT FACTOR-1.15 INTERNAL PRESSURE COEFFICIENT - +0.25, 0.25

WIND LOAD - 20 PSF WIND EXPOSURE B

FLOOR L.L. - 100 PSF STAIRS L.L. 100 PSF

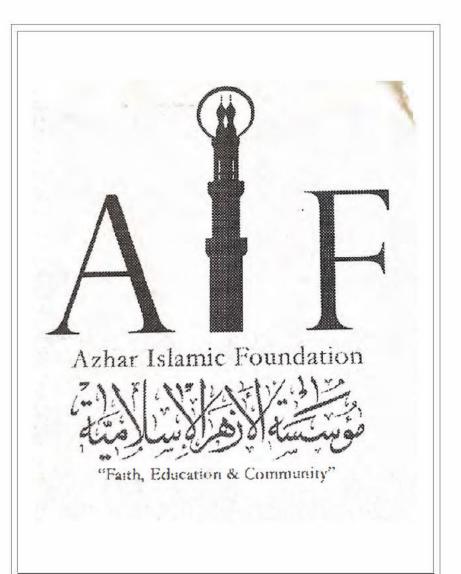


EXHIBIT D

DRAWING INDEX

NO.	DESCRIPTION
A1	TITLE SHT, LOCATION PLAN
A2	BUILDING ELEVATIONS
A3	BUILDING ELEVATIONS
A4	BASEMENT FLOOR PLAN-full
A5	1st. FLOOR PLAN-full
A6	ROOF PLAN
A7	BASEMENT FLOOR PLAN
A8	1st. FLOOR PLAN
A9	ROOM FIN.SCHEDULES
A10	TYPICAL DETAILS
A11	ELEVATOR DETAILS
A12	TYPICAL DETAILS
A13	TYPICAL DETAILS
A14	NOTES/SPECS

S1	FOUNDATION PLAN
S2	1st. FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	TYPICAL DETAILS
S5	TYPICAL DETAILS
S6	TYPICAL DETAILS

M1 BASEMENT HVAC PLAN M2 1st. FLOOR HVAC PLAN M3 HVAC DETAILS	DESCRIPTION	
M3 HVAC DETAILS	BASEMENT HVAC PLAN	
TIVIC BEITHES	1st. FLOOR HVAC PLAN	
VIA TITLE DESCRIPTION	HVAC DETAILS	
M4 HVAC DETAILS	HVAC DETAILS	
M4		BASEMENT HVAC PLAN 1st. FLOOR HVAC PLAN HVAC DETAILS

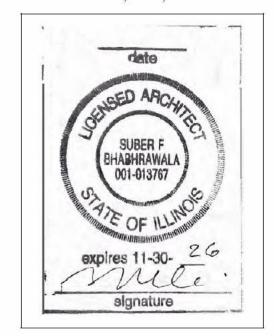
E1 BASEMENT FLOOR LIGHTING PLAN E2 1st. FLOOR LIGHTING PLAN E3 BASEMENT FLOOR ELECTRICAL PLAN E4 1st. FLOOR ELECTRICAL PLAN E5 ELECTRICAL SCHEDULES	NO.	DESCRIPTION
E3 BASEMENT FLOOR ELECTRICAL PLAN E4 1st. FLOOR ELECTRICAL PLAN	E1	BASEMENT FLOOR LIGHTING PLAN
E4 1st. FLOOR ELECTRICAL PLAN	E2	1st. FLOOR LIGHTING PLAN
TSC. THOOK EDECTRICAL TEAT	E3	BASEMENT FLOOR ELECTRICAL PLAN
E5 ELECTRICAL SCHEDULES	E4	1st. FLOOR ELECTRICAL PLAN
	E 5	ELECTRICAL SCHEDULES

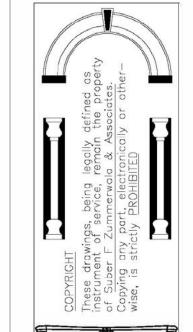
NO.	DESCRIPTION
P1	BASEMENT FLOOR PLUMBING PLAN
P2	1st. FLOOR PLUMBING PLAN
Р3	SECTION
P4	RISER DIAGRAMS & DETAILS

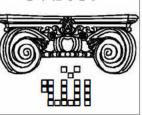
CODES APPLIED
ALL CODES WITH BARRINGTON HILLS AMENDMENTS

2015 INTERNATIONAL BUILDING CODE
2014 STATE OF ILLINOIS PLUMBING CODE
2014 NATIONAL ELECTRICAL(NEC) CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 (NFPA) LIFE SAFETY CODE—101
2018 STATE OF ILLINOIS ACCESSIBILITY CODE
2009 INTERNATIONAL FIRE CODE

04/14/25







Cummerwala & Associates

ARCHITECTS & PLANNERS

333 W. Iving Park Road, Suite # 202

R oselle, I.C. 6 0 1 7 2

PH / FX 630.351.1593

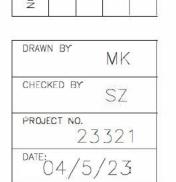
DESIGN FIRM LIC. NO. 184.004407

E. C. C.

ROOM ADDITION

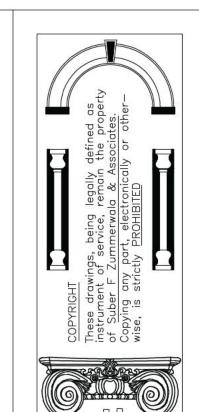
L-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

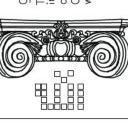
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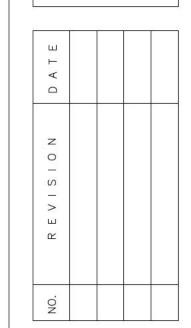


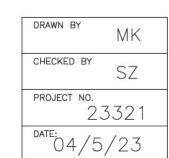
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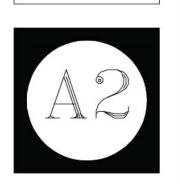


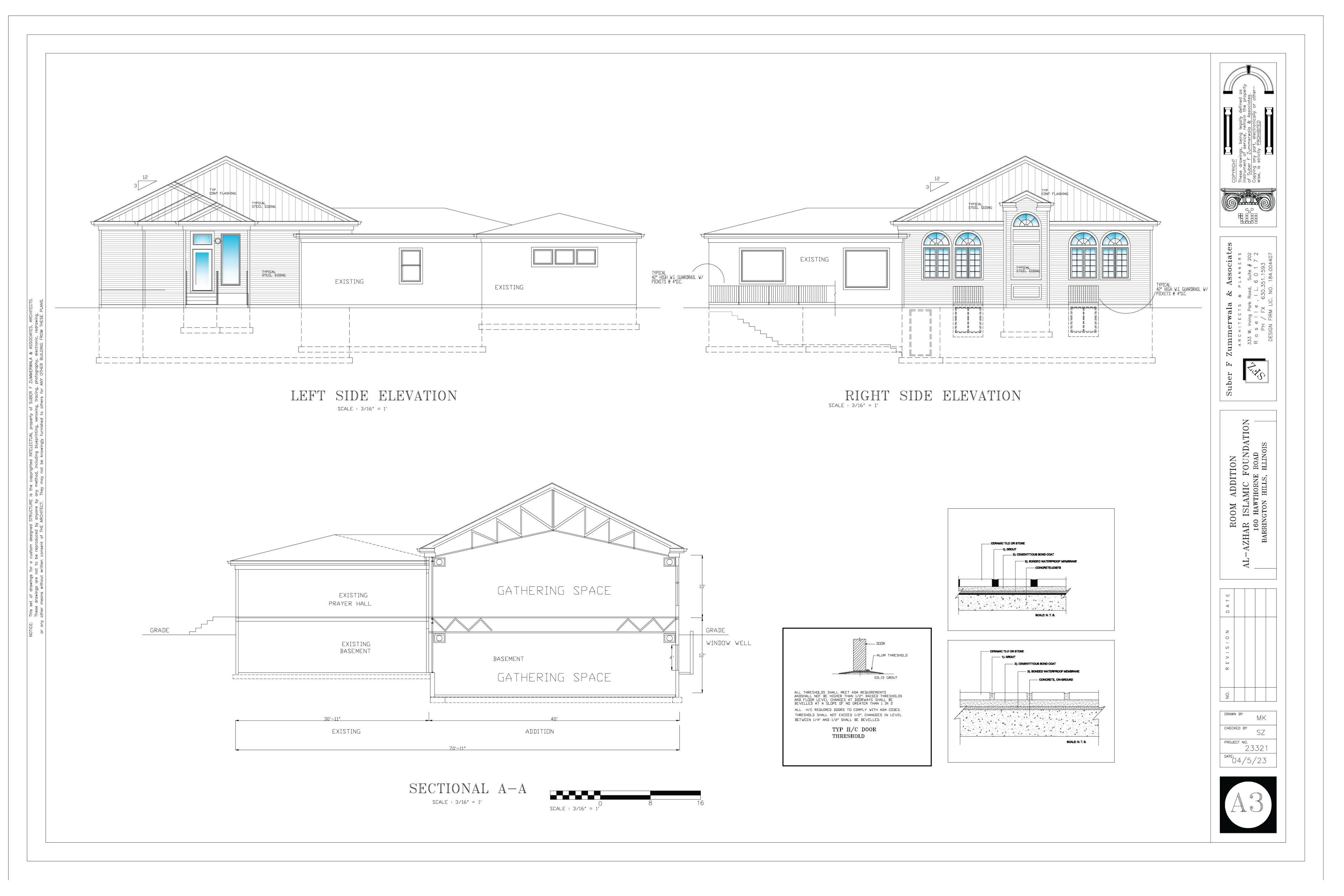


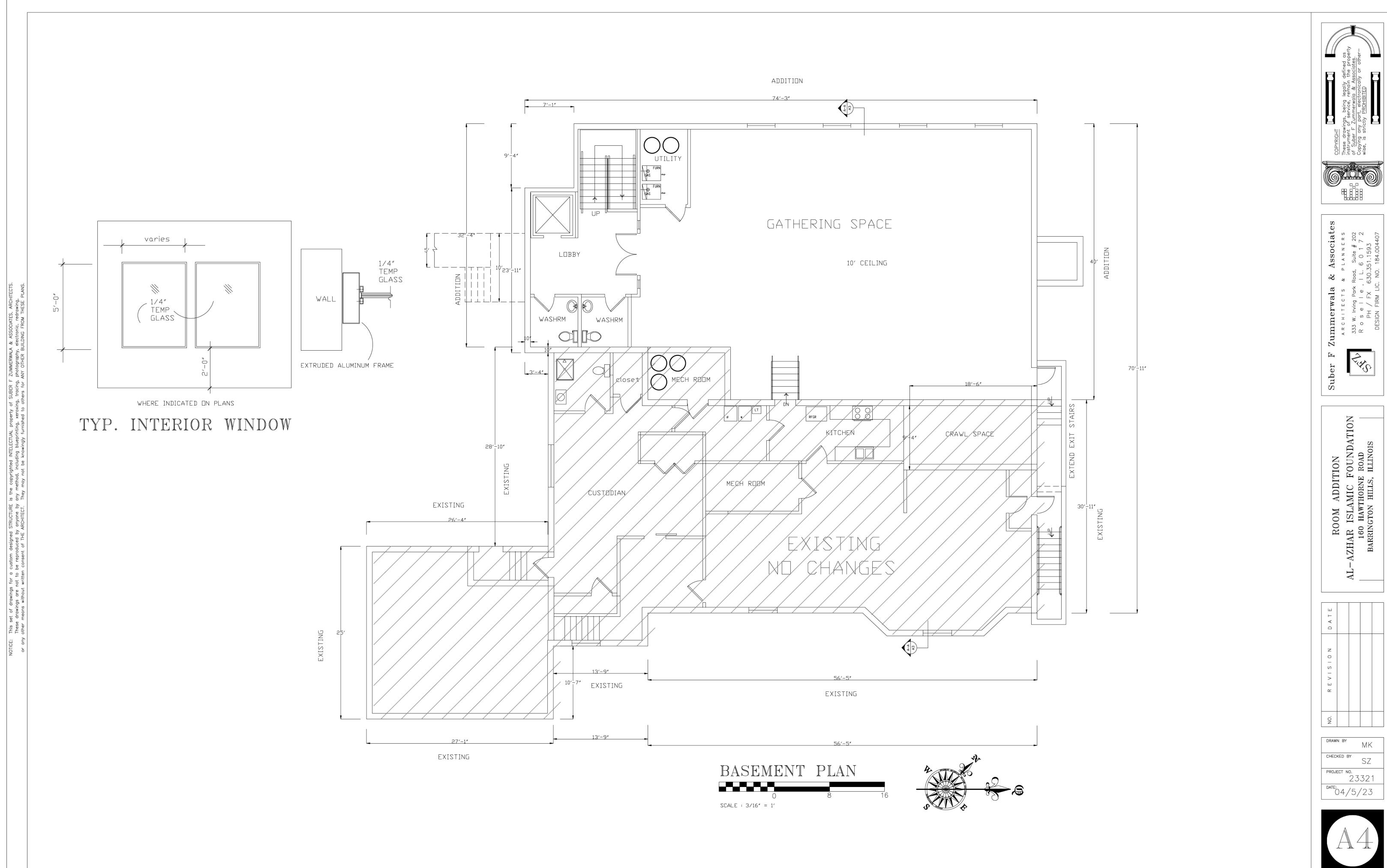


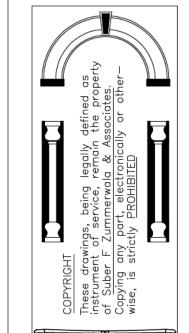


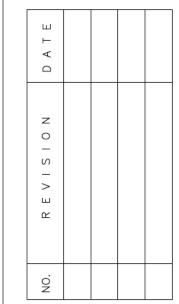


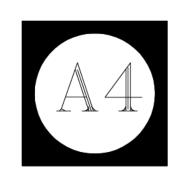


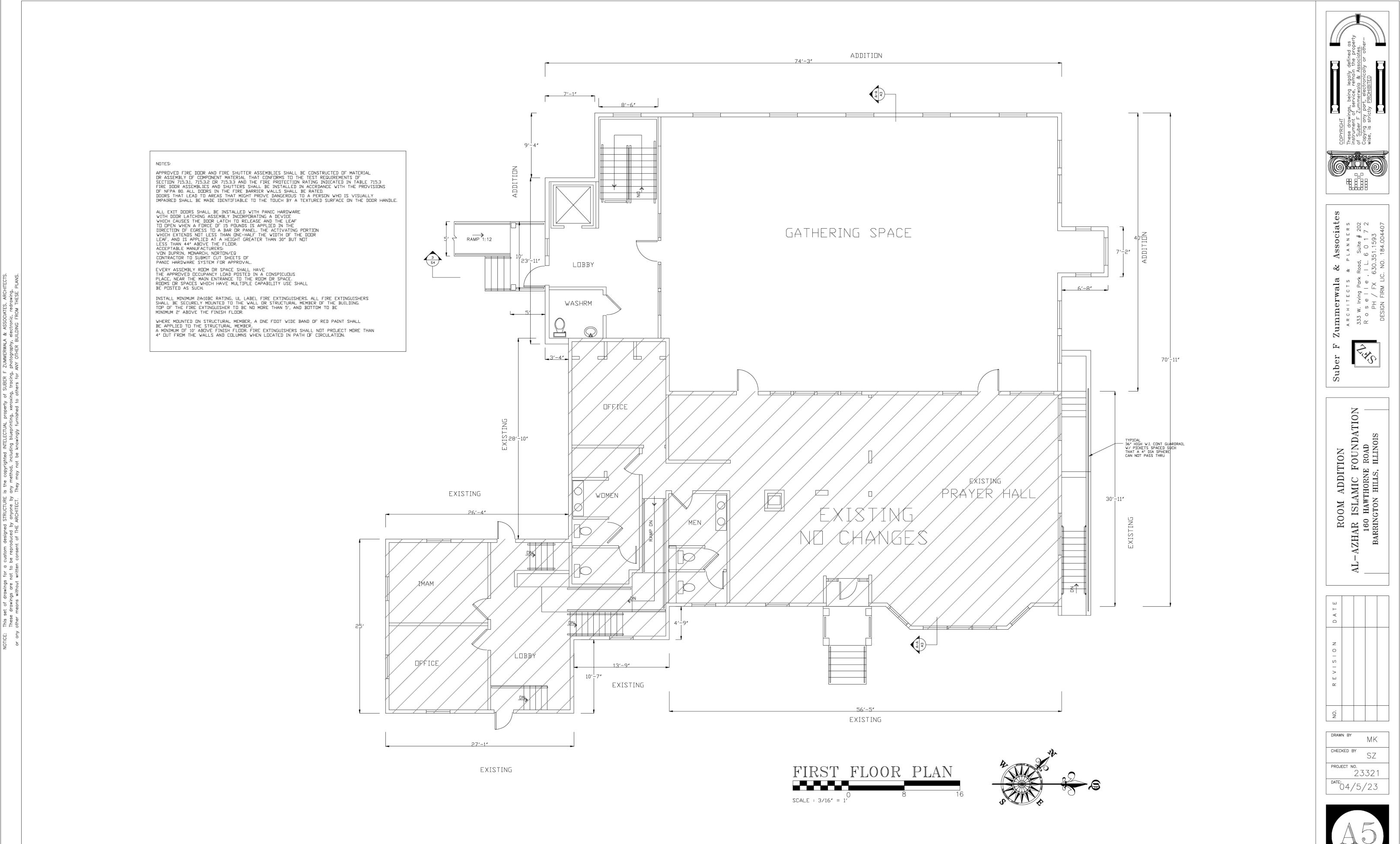




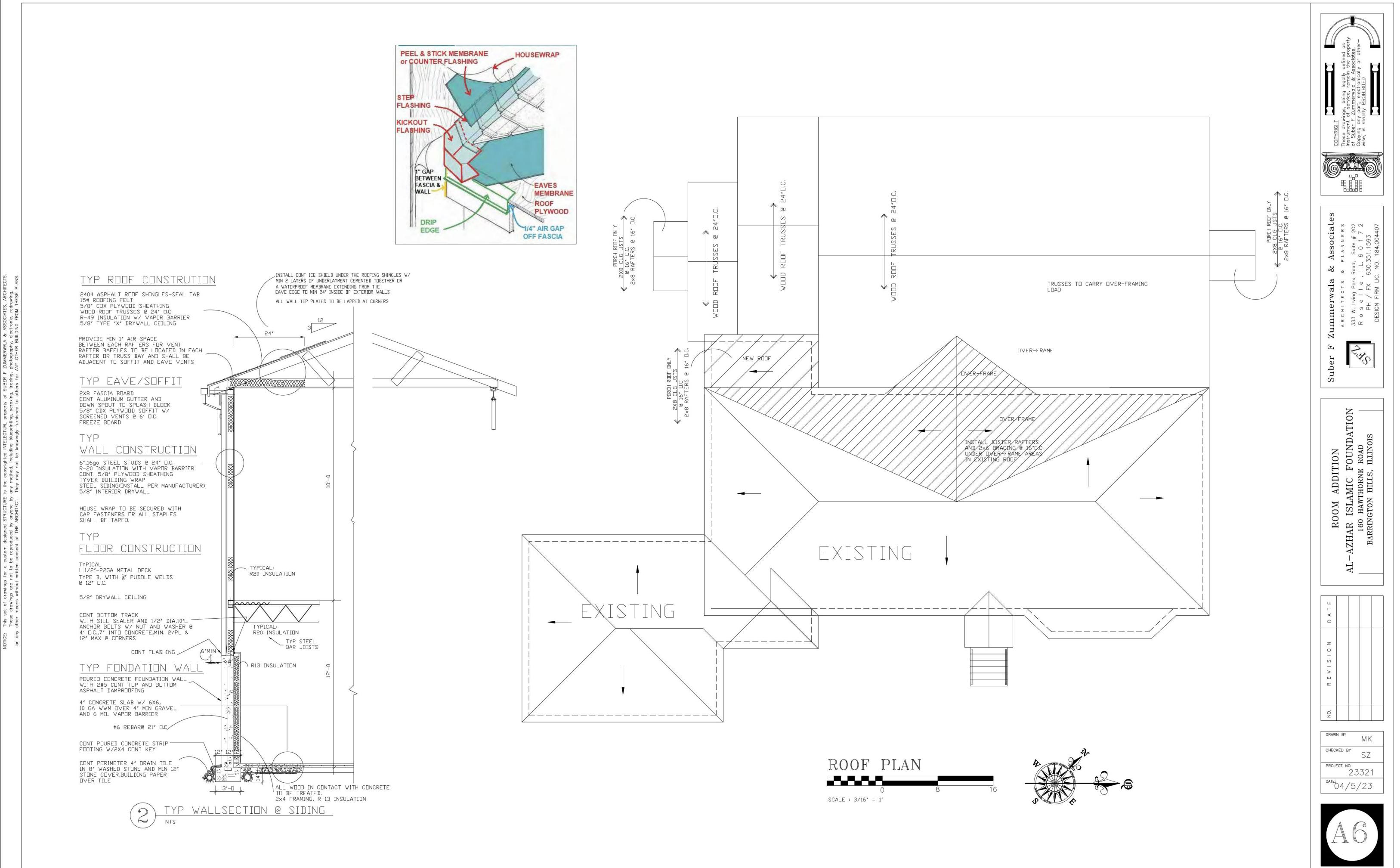


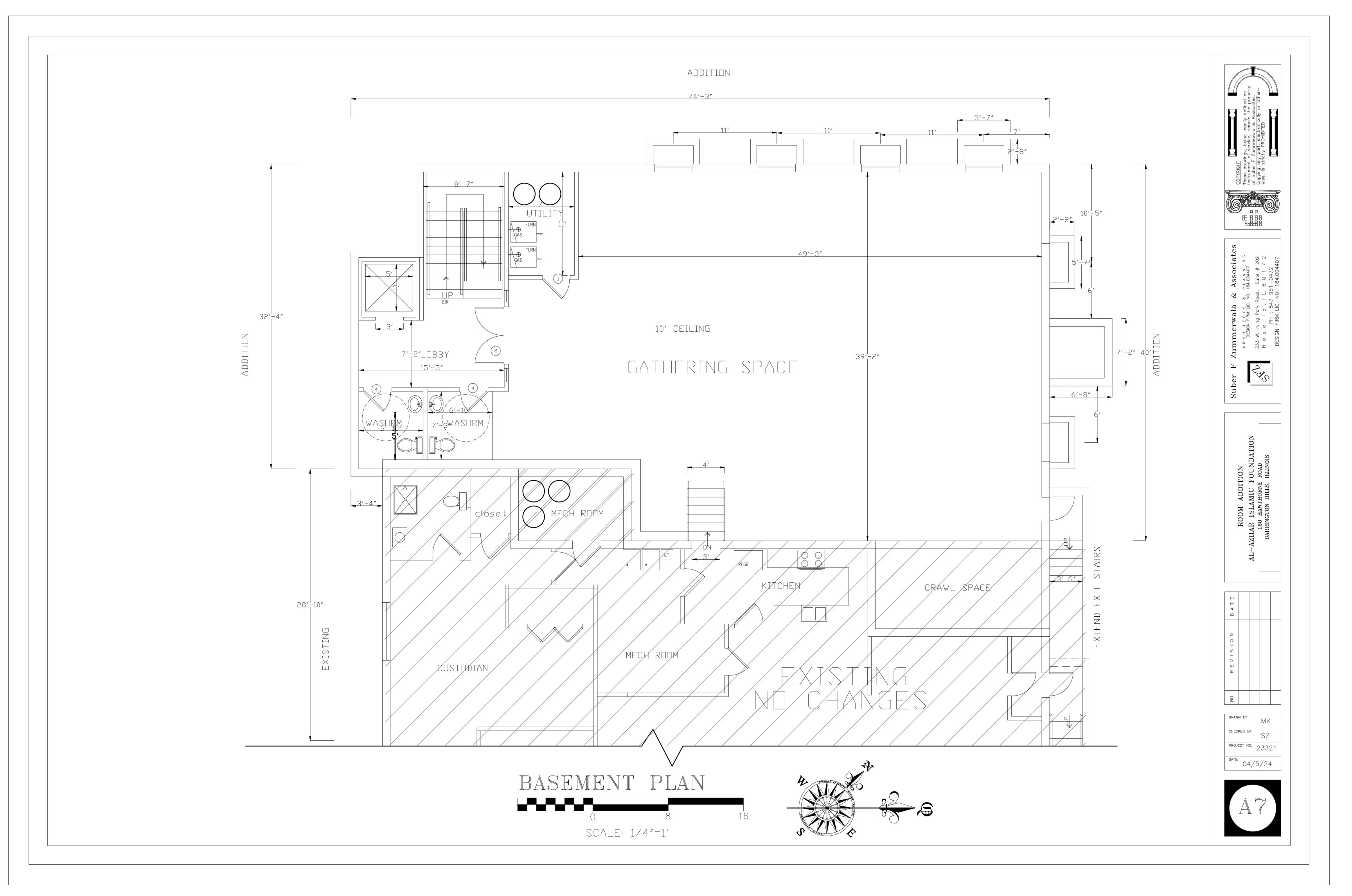


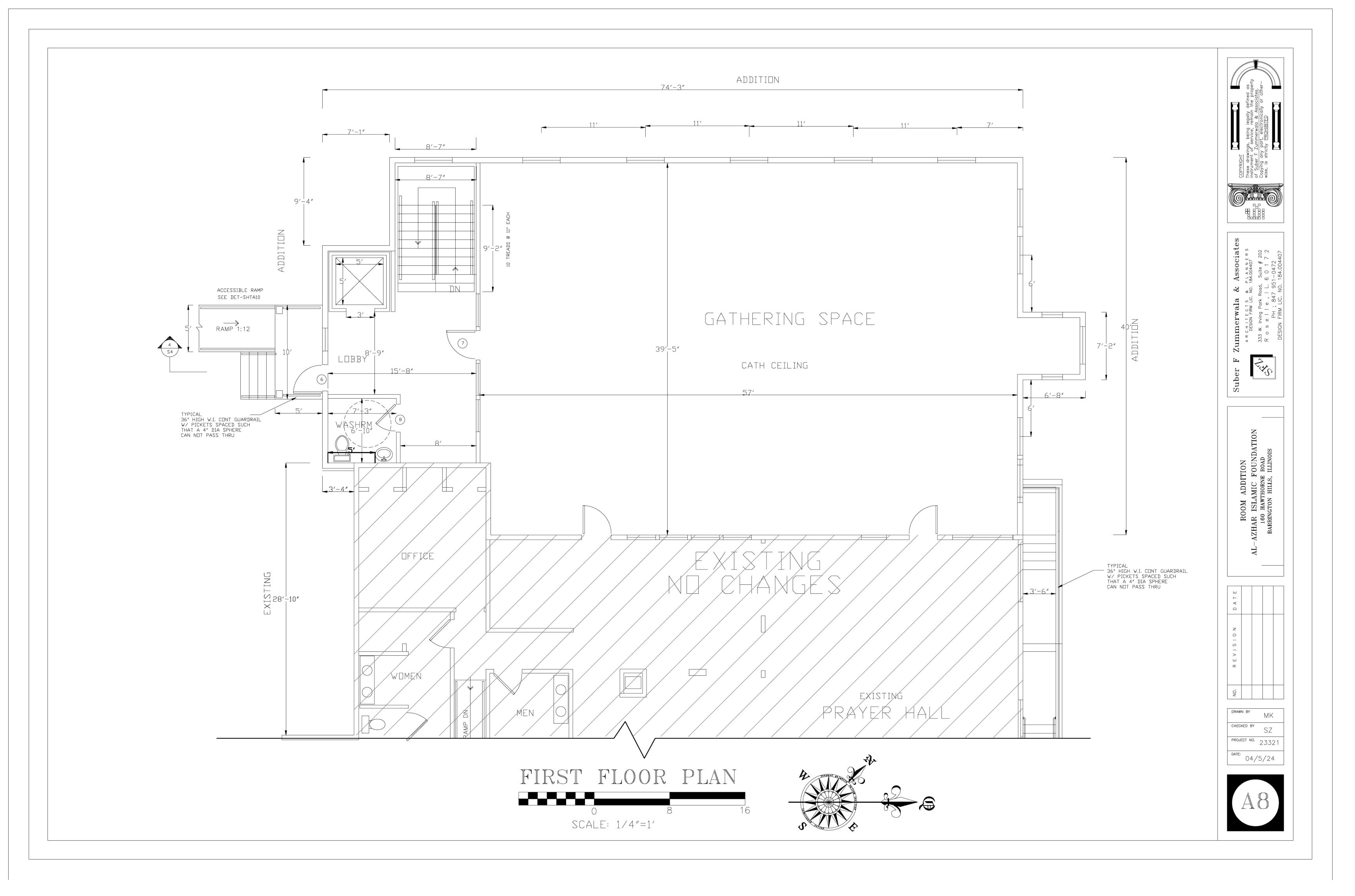


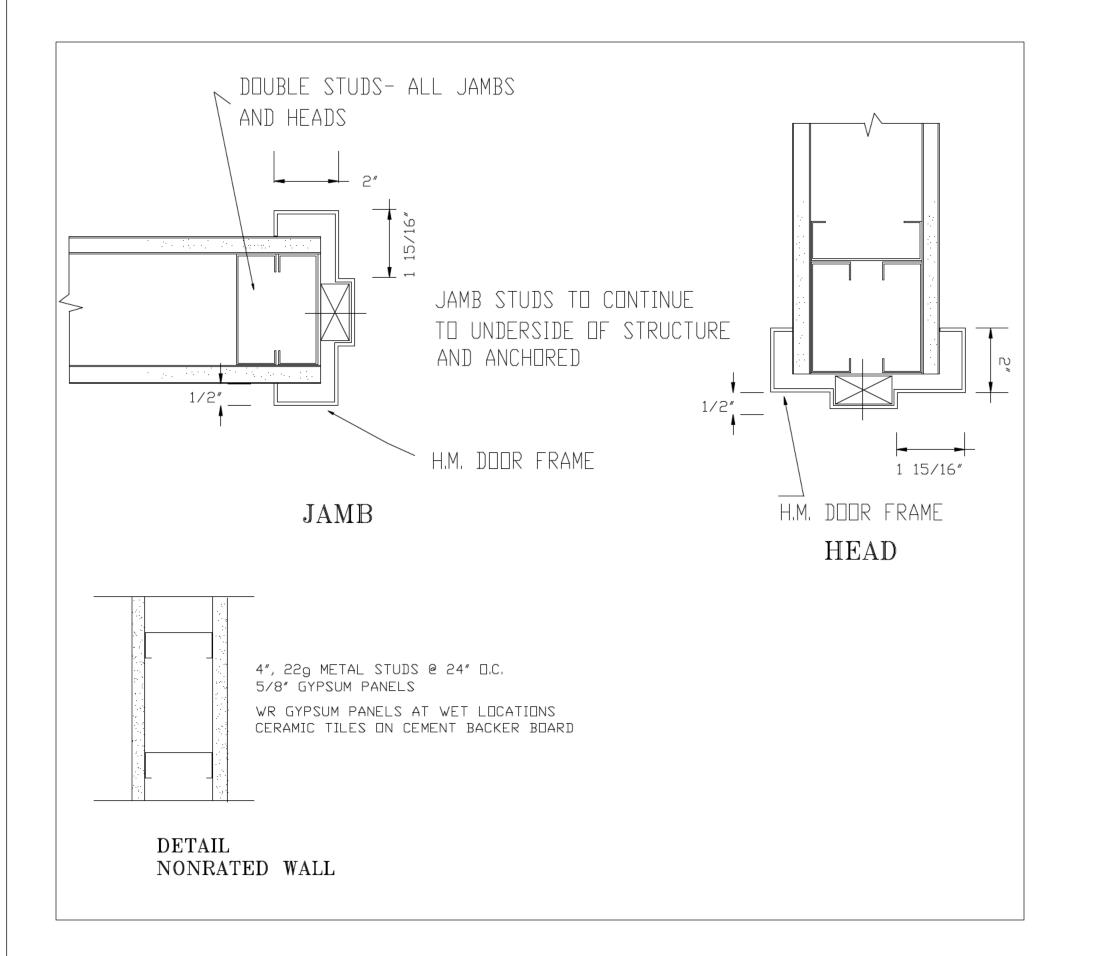












_ ALUM THRESHOLD

STUDS

ANCHORAGE

SOLID GROUT

ALL THRESHOLDS SHALL MEET ADA REQUIREMENTS

BETWEEN 1/4" AND 1/2" SHALL BE BEVELLED.

ANDSHALL NOT BE HIGHER THAN 1/2". RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT DOORWAYS SHALL BE BEVELLED AT A SLOPE OF NO GREATER THAN 1 IN 2

ALL H/C REQUIRED DOORS TO COMPLY WITH ADA CODES.

THRESHOLD SHALL NOT EXCEED 1/2". CHANGEES IN LEVEL

THRESHOLD

TYP H/C DOOR

DOOR SCHEDULE

	SIZE	MATERIAL	FRAME	HDWR	REMARKS
	3'-0 X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	23 5	B LABEL KNURLED HANDLE
(5)	3'-0 X 7'-0	ALUMINUM AND TEMP GLASS	ALUMINUM	3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS,
3	3'-0 X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
4	3'-0 X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
5	3'-0 X 6'-8"	INSULATED METAL	STEEL	3 567	TO MEET EXIT REQUIREMENTS.
6	3'-0 X 7'-0	ALUMINUM AND TEMP GLASS	ALUMINUM	3 567	TO MEET EXIT AND HANDICAP REQUIREMENTS.
7	3'-0 X 7'-0	ALUMINUM AND TEMP GLASS	ALUMINUM	3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.
8	3'-0 X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
9	EXISTING 3'-0 X 7'-0	ALUMINUM AND TEMP GLASS	ALUMINUM	1 3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.
10)	EXISTING 3'-0 X 7'-0	ALUMINUM AND TEMP GLASS	ALUMINUM	1 3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.

DOOR HARDWARE NOTES

- 1) PRIVACY LATCH SET
- (2) KEYED ENTRY LOCK
- (3) PUSH & PULL
- (4) KICK PLATE (5) AUTOMATIC CLOSER
- (6) ALUMINUM THRESHOLD
- (7) WEATHERSTRIP-PERIMETER

ALL HARDWARE TO BE COMMERCIAL TYPE, HEAVY DUTY INSTALL ALL HARDWARE ITEMS AS REQUIRED

HINGES- ALL DOORS MIN 1-1/2 PAIR HAGER LOCKSETS- SCHLAGE -HEAVY DUTY, COMMERCIAL ADUTOMATIC CLOSERS-LCN 1481 ALUMINUM FLOOR STOPS-HAGER 241,US28 ALL GLASS WITHIN 48" OF ANY DOORS TO BE SAFETY GLASS

PAINT ALL FRAMES TO MATCH DOORS. PULL PLATES-HAGER 4X16,H33E,US28 PUSH PLATES-HAGER, 4X16,305,US28

PROVIDE POSITIVE LATCH SET ALL H/C REQUIRED DOORS TO COMPLY WITH IAC 400.310(J)(8).

ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

SWINGING DOORS SERVING ROOMS OR SPACES WITH OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE.

DOOR HANDLES, PULLS,LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE BASE	WALLS	CEILING	REMARKS
GATHERING SPACE	V.T.	VYNIL COVED	D.W.	D.W.	
WASHRM	C.T.	C.T. COVED	D.W.	D.W.	
WASHRM	C.T.	C.T. COVED	D.W.	D.W.	
UTILITY RM	V.T.	VYNIL COVED	D.W.	D.W.	
∟□ВВҮ	C.T.	WOOD COVED	D.W.	D.W.	
				D.W.	
GATHERING SPACE	СРТ	W□□D C□VED	D.W.	D.W.	
LOBBY	C.T.	WOOD COVED	D.W./GL	D.W.	
WASHRM	C.T.	C.T. C□VED	D.W.	D.W.	

FINISH LEGEND:

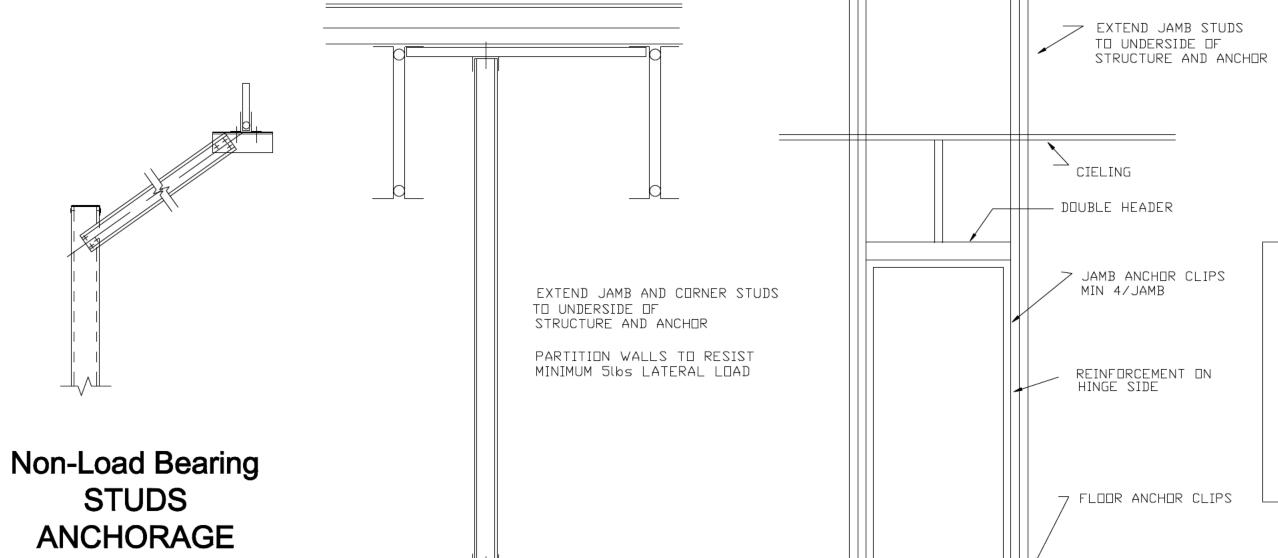
A.C.1= SMOOTH PLASTIC TILES A.C.2= ACDUSTICAL CLG TILES D.W.= DRY WALL-GYPSUM BDS C.T.= CERAMIC TILES Q.T.= QUARY TILES PTD= PAINTED V.T= VYNIL TILES WR= WATER RESISTANT FRP= FIBER REINFORCED PANELS

ALL VINYL TILES & BASE TO BE COMMERCIAL GRADE MINIMUM $\frac{1}{8}$ " THICKNESS.

ROOM FINISH NOTES

- 1. INSTALL WR TYPE DRYWALL AT ALL LOCATIONS WHERE MOISTURE MAY BE PRESENT
- 2. ALL DRYWALLS TO BE PAINTED, COLOR TO BE SELECTED BY OWNERS, PAINT TO BE OIL BASE-ENAMEL ONLY
- 3. PROVIDE A MIN. OF 4" COVING BASE AT ALL FLOOR AND WALL JUNCTURES. ALL INTERIOR WALLS TO BE W/ METAL STUDS @ 16" O.C., AND 1/2" DRYWALL.(U.N.O.).
- 4. PROVIDE A MIN. OF 6" COVING BASE AT ALL FLOOR AND WALL JUNCTURES.
- 5. FLAME SPREAD RATING FOR ALL INTERIOR FINISHES TO BE 16-20.

SIGN STATING EXIT IN VISUAL CHARACTERS, RAISED RAISED CHARACTERS AND BRAILLE SHALL BE PROVIDED ADJACENT TO EXIT DOOR



ALL TOILETS, URINALS, HAND SINKS, MOP SINKS, PREP SINKS AND PERMANENT COUNTER/ CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH A SILICONE CAULK SEALANT,

INSTALL ANTI-SIPHON DEVICES ON ALL TOILET TANKS, URINALS, AND FAUCETS WITH HOSE CONNECTIONS. INSTALL SOAP AND PAPER TOWEL DISPENSER AND DISPOSAL FOR ALL HAND SINKS.

IF SINKS ARE PROVIDED WITH SPRING- LOADED FAUCETS, THE FAUCETS MUST REMAIN RUNNING FOR A MINIMUM OF 15 SECONDS.

ROOM ADDITION
-AZHAR ISLAMIC FOUND
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOE

J. W.

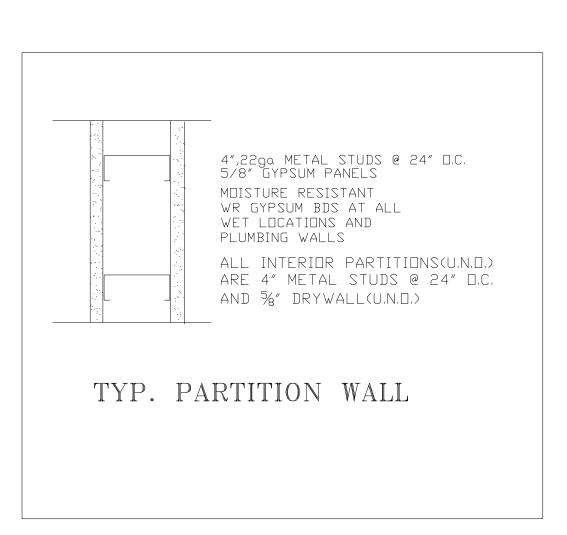
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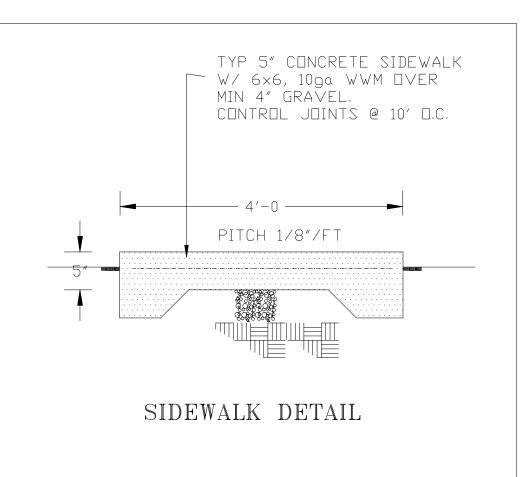
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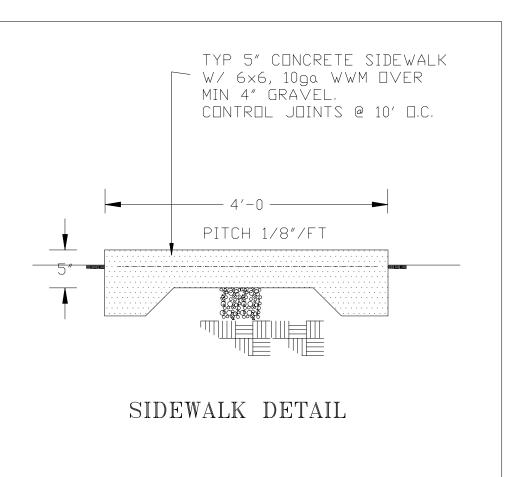
PROJECT NO. 23321 DATE: 04/5/24

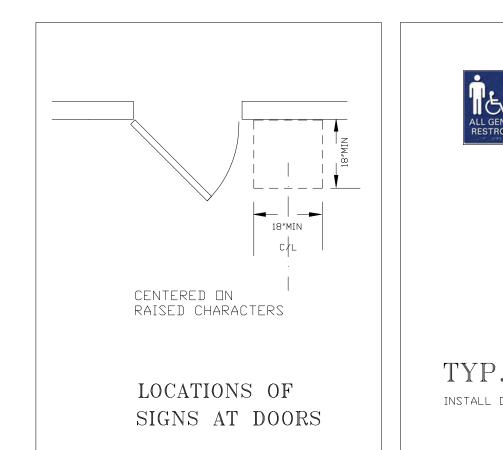


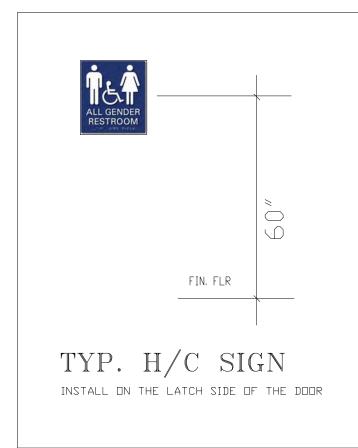
TYP. DOOR FRAMING





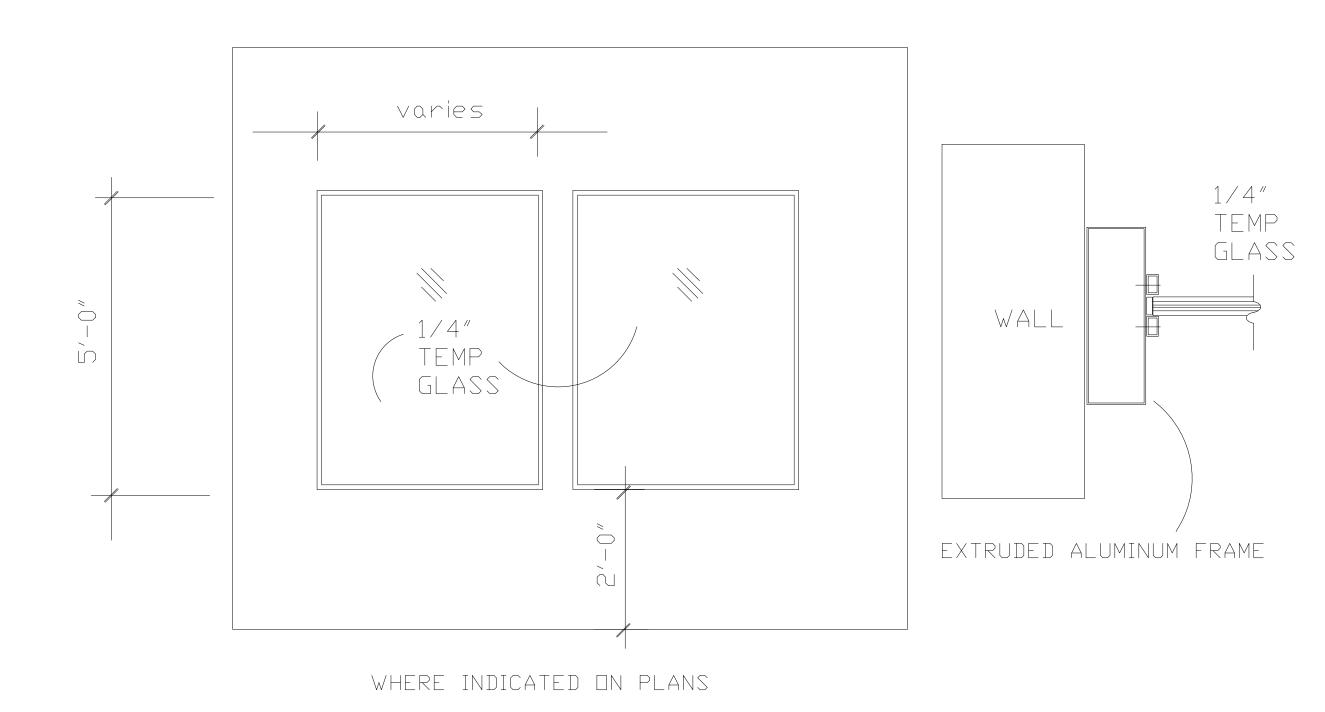




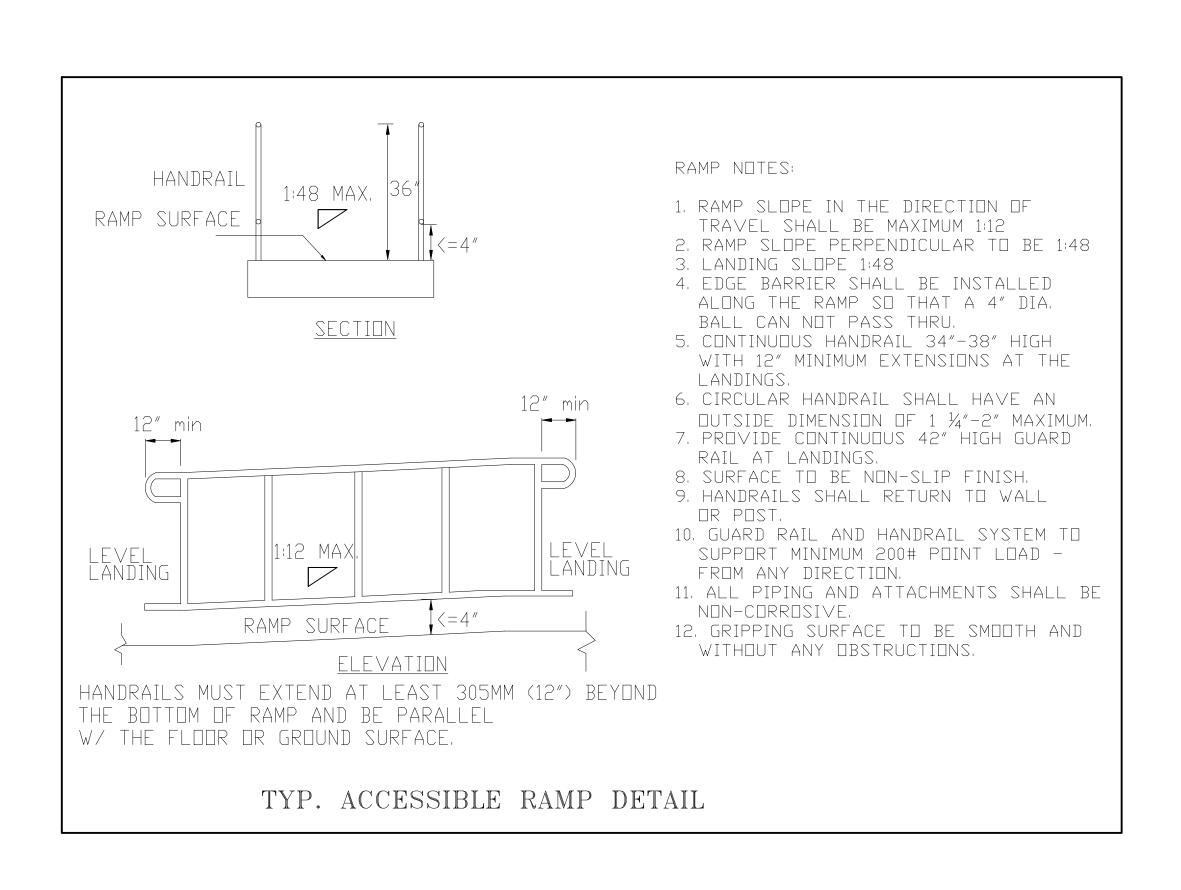


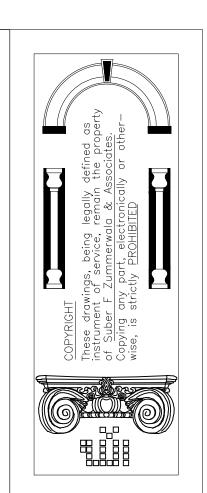
NON-GENDER TOILET ROOM TOILET ROOM ICON WITH TEXT STATING RESTROOM AND BRAILLE OF TEXT

TYP: ALL LOCATIONS 42" HIGH CONT. 1 ½" DIA METAL GUARD RAIL WITH LESS THAN 4" OPENINGS -MUST SUPPORT MIN. 200# LOAD FROM ANY DIRECTION



TYP. INTERIOR WINDOW





Zummerwala & Associates

A R C H I T E C T S & P L A N N E R S

DESIGN FIRM LIC. NO. 184.004407

333 W. Irving Pork Road, Suite # 202

R o s e I I e , I L. 6 0 1 7 2

PH ; 847 951-0472

DESIGN FIRM LIC. NO. 184.004407

ROOM ADDITION

-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

MK CHECKED BY

PROJECT NO. 23321

DATE: 04/5/24

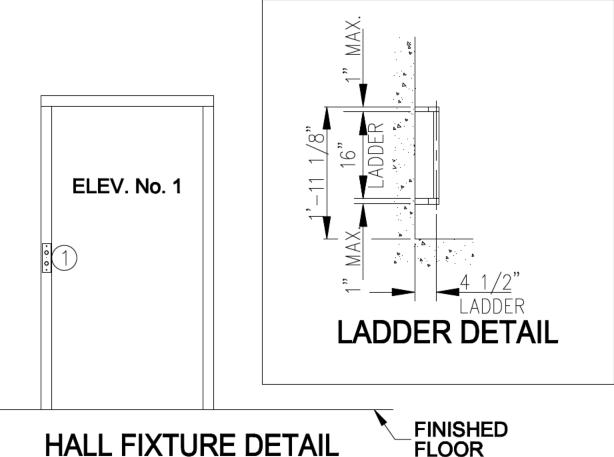


GENERAL REQUIREMENTS

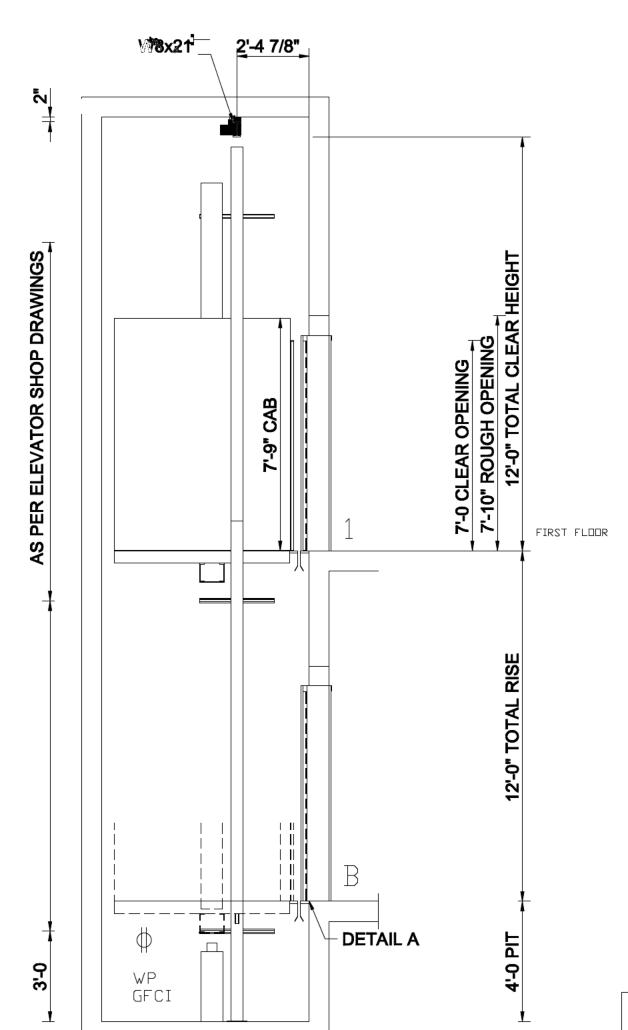
- 1. PROPERLY FRAMED AND ENCLOSED LEGAL HOISTWAY INCLUDING VENTING AS REQUIRED BY THE GOVERNING CODE AND SAFETY BEAM AS SHOWN.
- 2. ADEQUATE SUPPORT FOR GUIDE RAIL FASTENINGS NOT TO EXCEED THE VERTICAL SPACING SHOWN ON THE RAIL BRACKET CHART. SEPARATOR BEAMS WHERE REQUIRED.
- 3. A) PROTECTION FROM FALLS (OSHA 1926.502 B (1-3)): FREESTANDING REMOVABLE BARRICADE AT EACH HOISTWAY OPENING AT EACH FLOOR REQUIRED. BARRICADES SHALL BE 42" HIGH, WITH MID-RAIL AND KICK BOARD, AND WITHSTAND 200 LBS OF VERTICAL AND HORIZONTAL PRESSURE.
- B) PROTECTION FROM FALLING OBJECTS (OSHA 1926.502(j)): HOISTWAY PROTECTION FROM FALLING DEBRIS AND OTHER TRADES MATERIALS PROVIDED BY EITHER 1) AN 8 FOOT SCREENING/MESH IN FRONT OF ALL ELEVATOR ENTRANCES OR 2) BY A SECURED/CONTROLLED ACCESS TO ALL ELEVATOR LOBBIES (LOCK AND KEY) WITH POSTED NOTICE "ONLY ELEVATOR PERSONNEL BEYOND THIS PROTECTION".
- 3A AND 3B CAN BE INTEGRATED SYSTEMS. HOISTWAY BARRICADES AND SCREENING SHALL BE CONSTRUCTED, MAINTAINED AND REMOVED BY OTHERS.
- 4. ALL CUTTING OR PATCHING TO ACCOMMODATE ELEVATOR INSTALLATION.
- 5. HOISTWAY WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE
- REQUIRED FIRE RATING INCLUDING WHERE PENETRATED BY ELEVATOR FIXTURE BOXES, AND TO INCLUDE ADEQUATE FASTENINGS TO HOISTWAY ASSEMBLIES. PROVIDE ADEQUATE SUPPORT AT ALL FASTENING POINTS OF EACH ENTRANCE. PROVIDE PLUMB VERTICAL SURFACES FOR ENTRANCES AND SILL SUPPORTS, ONE ABOVE THE OTHER, AND SQUARE WITH THE HOISTWAY. FINISH FLOOR AND GROUT, IF REQUIRED, BETWEEN DOOR FRAMES TO SILL LINE. A HORIZONTAL SUPPORT IS TO BE PROVIDED 1'-0" [305mm] ABOVE THE CLEAR OPENING AT THE TOP LANDING TO SUPPORT THE DOOR FRAME ASSEMBLY. IF FLOOR HEIGHTS EXCEED 12'-0" [3657], A HORIZONTAL SUPPORT IS TO BE PROVIDED 1'-0" [3657] ABOVE THE CLEAR OPENING. IF TRANSOMS ARE FURNISHED, COORDINATE HORIZONTAL BEAM SUPPORT WITH CONSTRUCTION
- 6. FOR PRECAST OR POURED CONCRETE WALLS, PROVIDE THE ROUGH OPENING FOR HOISTWAY AS SHOWN ON LAYOUT, AND ANY GROUTING AROUND ENTRANCE FRAMES IF REQ'D.
- 9. FOR EACH ELEVATOR, A THREE PHASE ELECTRICAL FEEDER SYSTEM WITH A SEPARATE EQUIPMENT GROUNDING CONDUCTOR AND A SINGLE PHASE 120 VOLT LIGHTING SUPPLY. EACH WITH A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER, WIRED TO EACH CONTROLLER.
- 10. IN THE PIT, A SEPARATE BRANCH CIRCUIT FOR CONVENIENCE G.F.C.I. OUTLET & LIGHT FIXTURE WITH LIGHT SWITCH ADJACENT TO THE PIT LADDER.
- 11. ALL ELECTRIC POWER FOR TOOLS, LIGHT, HOIST, ETC., DURING ERECTION AS WELL AS ELECTRIC CURRENT FOR STARTING AND ADJUSTING THE ELEVATOR.

THE ACCUMULATION OF WATER MUST BE PREVENTED.

- 13. A FIXED VERTICAL STEEL LADDER TO PIT EXTENDING 4'-0" (1219mm) ABOVE THE SILL OF THE BOTTOM ENTRANCE AS LOCATED IN THE PLAN VIEW. LADDER WIDTH AND PROJECTION FROM WALL PER LOCAL CODE. IF PIT DEPTH IS GREATER THAN 9'-10" (3000mm) [13'-9" (4191mm) WITH NO FLOOR BELOW BOTTOM LANDING], A PIT ACCESS DOOR IS
- 14. PIT FLOOR BENEATH CYLINDERS AND BUFFER TO BE FLAT AND LEVEL WITHIN 1/8" (3mm) FULL WIDTH OF HOISTWAY.
- 15. ELEVATOR CAB FLOORING MUST NOT EXCEED A THICKNESS OF 5/16" (8mm).
- 16. ONE (1) DEDICATED OUTSIDE TELEPHONE LINE TO THE ELEVATOR MACHINE ROOM MUST BE FURNISHED. TELEPHONE CONNECTIONS TO EACH CONTROLLER. TELEPHONE INSTRUMENT
- 17. ALL 125 VOLT, 15 OR 20 AMP, SINGLE PHASE DUPLEX RECEPTACLES INSTALLED IN PITS, MACHINE ROOMS OR MACHINERY SPACES, SHALL BE OF THE GROUND-FAULT-CIRCUIT-INTERRUPTER TYPE.
- 18. SMOKE DETECTORS, LOCATED AS REQUIRED, WITH WIRING FROM THE SENSING DEVICES TO A CONTROLLER DESIGNATED BY OTIS. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING ALL SMOKE DETECTORS LOCATED IN LOBBIES, HOISTWAYS, OR MACHINE ROOMS, BUT NOT THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING (SEE ABOVE) OR THE SMOKE DETECTORS AS DESCRIBED IN A & B BELOW:
- A) IF A SMOKE DETECTOR IS LOCATED IN THE HOISTWAY AT OR BELOW THE LOWER OF THE TWO RECALL LANDINGS, IT SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR LOCATED IN THE LOBBY AT THE LOWER OF THE TWO RECALL LANDINGS.
- B) IF MACHINE ROOMS ARE LOCATED AT THE DESIGNATED RETURN LANDING, THE SMOKE DETECTOR LOCATED THEREIN SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR AT THE DESIGNATED LANDING. FOR A SINGLE UNIT, OR GROUP OF ELEVATORS HAVING ONE COMMON MACHINE ROOM AND ONE COMMON HOISTWAY, PROVIDE ONE ADDITIONAL NORMALLY CLOSED CONTACT REPRESENTING ALL MACHINE ROOM AND HOISTWAY SMOKE DETECTORS. IF THE GROUP CONTAINS MORE THAN ONE HOISTWAY, AND HOISTWAY SMOKE DETECTORS ARE INSTALLED, OR IF THE GROUP HAS MORE THAN ONE MACHINE ROOM, PROVIDE ONE ADDITIONAL NORMALLY CLOSED CONTACT FOR EACH ELEVATOR. THE CONTACT IS TO REPRESENT THE SMOKE DETECTOR IN THE MACHINE ROOM FOR THAT PARTICULAR ELEVATOR, AND ANY SMOKE DETECTORS IN THE HOISTWAY CONTAINING THAT PARTICULAR ELEVATOR.
- C) PROVIDE CLASS "ABC" FIRE EXTINGUISHER IN MACHINE ROOMS.
- 19. NOT USED
- 20. TWO (2) 6" X 6" (152mm x 152mm) CUTOUTS ARE OIL PIPE AND THE ACTUAL LOCATION OF THE CUTOUTS FOR THE TO AND FROM ELECTRICAL TROUGH WILL VARY DEPENDENT UPON MACHINE ROOM LOCATION AND CONFIGURATION.
- 21. BUILDING RAIL SUPPORTS TO SUSTAIN THE HORIZONTAL
- RAIL FORCES WITH A MAXIMUM ALLOWABLE DEFLECTION OF 1/8" (3mm).



HALL FIXTURE DETAIL FLOOR 1 HALL BUTTONS ALL FLOORS



SECTIONAL ELEVATION

FOR MAX. SPACING BETWEEN INSERTS SEE RAIL FORCE DETAIL

ELEVATOR SUMP TO DISCHARGE INDIRECTLY TO

FOLLOW ILLINOIS PLUMBING SECTION 80.1360a. PROVIDE LED LIGHT FIXTURE(DAMP LOCATION)

ELEVATOR WITH

EMERGENCY BATTERY LOWERING

SANITARY OR STORM LINE.

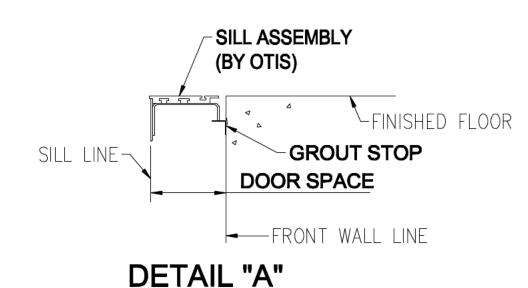
AND GFCI(WP) DUTLET DAMP-PROOFING ON WALLS

/--NSIDE HOISTWAY @ FRONT MAIN LINE i(NOT BY OTIS)|| 🔪 CONTROLLER AUTO SAFE-OPTIONAL 2ND LANDING JAMB MUST BE HELD-TIGHT AGAINST THE WALL FOR PROPER RUNNING CONTROL VALUE-CLEARANCES WITH THE SHUT OFF VALVE CLEAR HOISTWAY **DETAIL C-RH** 1ST LANDING

CONTROLLER / MAIN LINE / TANK IN PIT @ **SECOND LANDING REQUIREMENTS**

DOOR MUST BE LOCATED ON AN INTERIOR WALL OF THE BUILDING, IT CANNOT BE OPENED TO THE OUTSIDE OF A BUILDING. CONTACT OTIS REPRESENTATIVE FOR MRL ACCESS DOOR LOCATION GUIDELINE DRAWINGS.

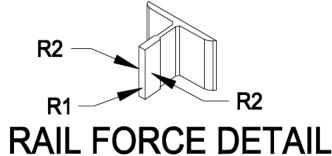
- A. ELEVATOR PIT LADDER SHALL EXTEND 42" ABOVE THE DOOR SILL B. INSTALL PIT LIGHTING WITH SWITCH UP AND OVER BY LADDER 36" ABOVE THE DOOR SILL. C. PIT LIGHT IN EITHER FRONT OR REAR OF
- EQUIPMENT AND 24" ABOVE FLOOR. D. BOTTOM OF SHAFT CEILING/OBSTRUCTION SHALL BE CLEAR MINIMUM 42" ABOVE TOP OF CAR
- E. EDGES BIGGER THAN 2" SHALL BE WITH 70 DEGREE METAL TAPER F. INSTALL (4) SYMBOL PICTOGRAPH FIRE WARNING SIGNS ABOVE ALL G, INSTALL TELEPHONE TO 24 HOUR SOURCE WITH VOICE MESSAGE H. INSTALL ELECTRIC EYES AT 5" AND 29" OFF THE SILL.
- I, MINIMUM HEIGHT OF THE ELEVATOR CAB TO BE 7'-9" J. INSTALL GRAB/HANDRAILS ON ALL THREE SIDES OF CAB
- K. TIE FIRE SMOKE SENSORS INTO ELEVATOR CONTROLLER WITH
- FLOOR SENSOR, SHAFT, AND ALL LOBBIES L. MINIMUM CAR SIZE-68"x51"(LARGER SIZES PROVIDED), WITH 36"/LARGER
- M. FUSE MAINLINE DISCONNECT SWITCH NEXT TO ACCESS DOOR ON LOCK SIDE.
 N. SEPARATE 110 V CAR LIGHT FEED FOR ELEVATOR CAR.
 O. ELEVATORS ARE MRL(MACHINE ROOM LESS) TYPE P. ELEVATORS TO BE FULLY ACCESSIBLE
- Q. MOUNT HALL LANTERNS AT 72" AFF R. CALL BUTTONS TO BE MOUNTED AT 42". S. HOIST-WAY JAMB SIGNS SHALL BE MOUNTED AT 60" TO THE CENTERLINE,
- T. JAMB-SIGNS INDICATED FOR BOTH SIDES OF THE OPENING. U. ALSO COMPLY WITH ELEVATOR MANUFACTURERS REQUIREMENTS PER SHOP DRAWINGS SUBMITTAL.



SILL SUPPORT

ADEQUATE SUPPORT AT ALL FASTENING POINTS OF ENTRANCE ASSEMBLY REQUIRED. MUST WITHSTAND A HORIZONTAL PULL-OUT FORCE OF 140 LBS. @ EA. FASTENING POINT (8 @ EA. ENTRANCE) INCLUDING SUPPORT FOR CENTER SILL SUPPORT BRACKET (NOT BY OTIS).

SEE STRUCTURAL FOR PIT FOUNDATION



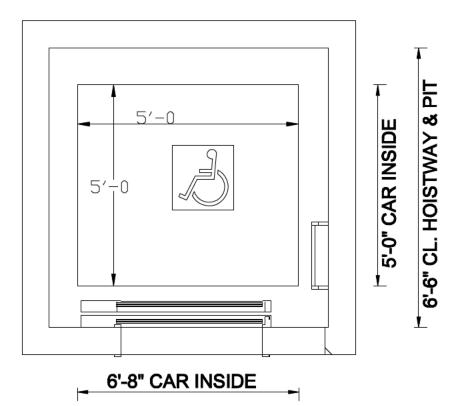
*THIS FORCE INCLUDES IMPACT

1 HR RATED FIRE PROTECTION SEE DETAIL-PAGE A12

R1 283 lbs *EACH BUFFER IMPACT LOAD 16200 lbs *EACH CYLINDER IMPACT LOAD 598 lbs CAR MAXIMUM BRACKET SPACING

FIRE PROTECTION NOTE:

ELEVATOR SHALL HAVE A FIRE DEPARTMENT RECALL SUBMIT ELEVATOR SPECIFICATIONS INCLUDING SMOKE DETECTION AND SPRINKLER



PLAN VIEW TYPICAL FLOOR PLAN

7'-0" CLEAR HOISTWAY & PIT

BASEMENT/FIRST FLOOR

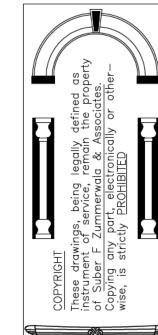
FIELD VERIFY ALL CONDITIONS AND DIMENSIONS, CO-ORDINATE WITH ELEVATOR SUPPLIER BEFORE BUILDING CLEAR CHASE.

LOCATE AND INSTALL PIT LADDER, PIT LIGHT, GFIC DUTLET AS PER APPROVED SHOP DRAWINGS. CO-ORDINATE WITH ELEVATOR SUPPLIER FOR ALL REQUIREMENTS.

ELEVATOR WITH EMERGENCY BATTERY LOWERING

SUBMIT ELEVATOR SHOP DRAWINGS FOR REVIEW AND APPROVAL

ELEVATOR (MRL) MACHINE ROOM LESS





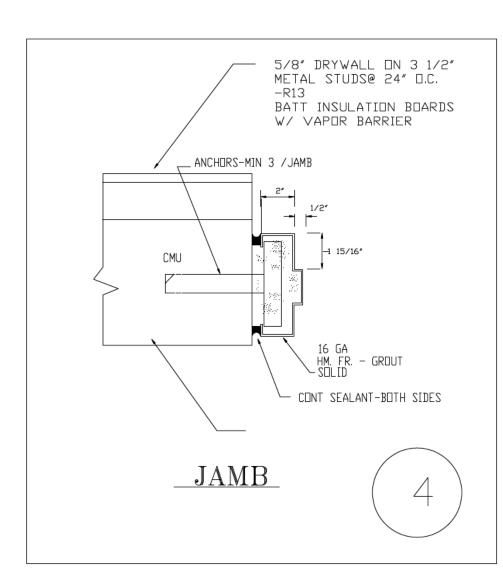


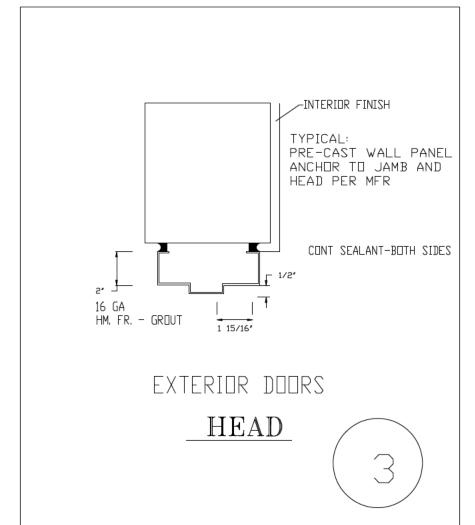
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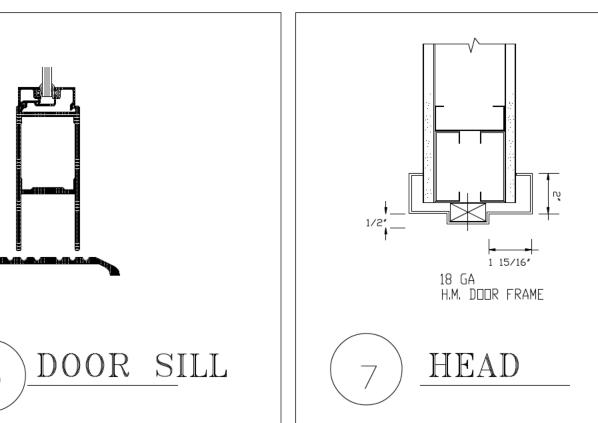
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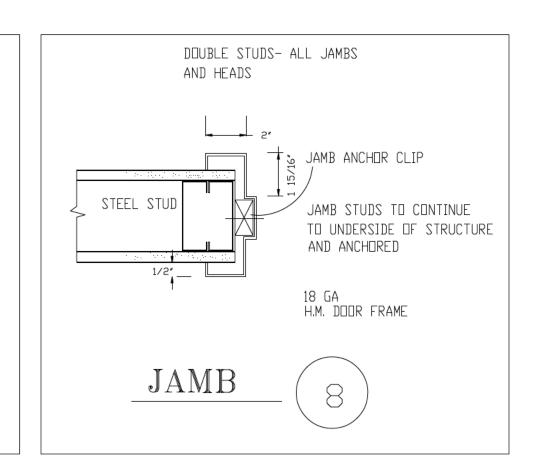
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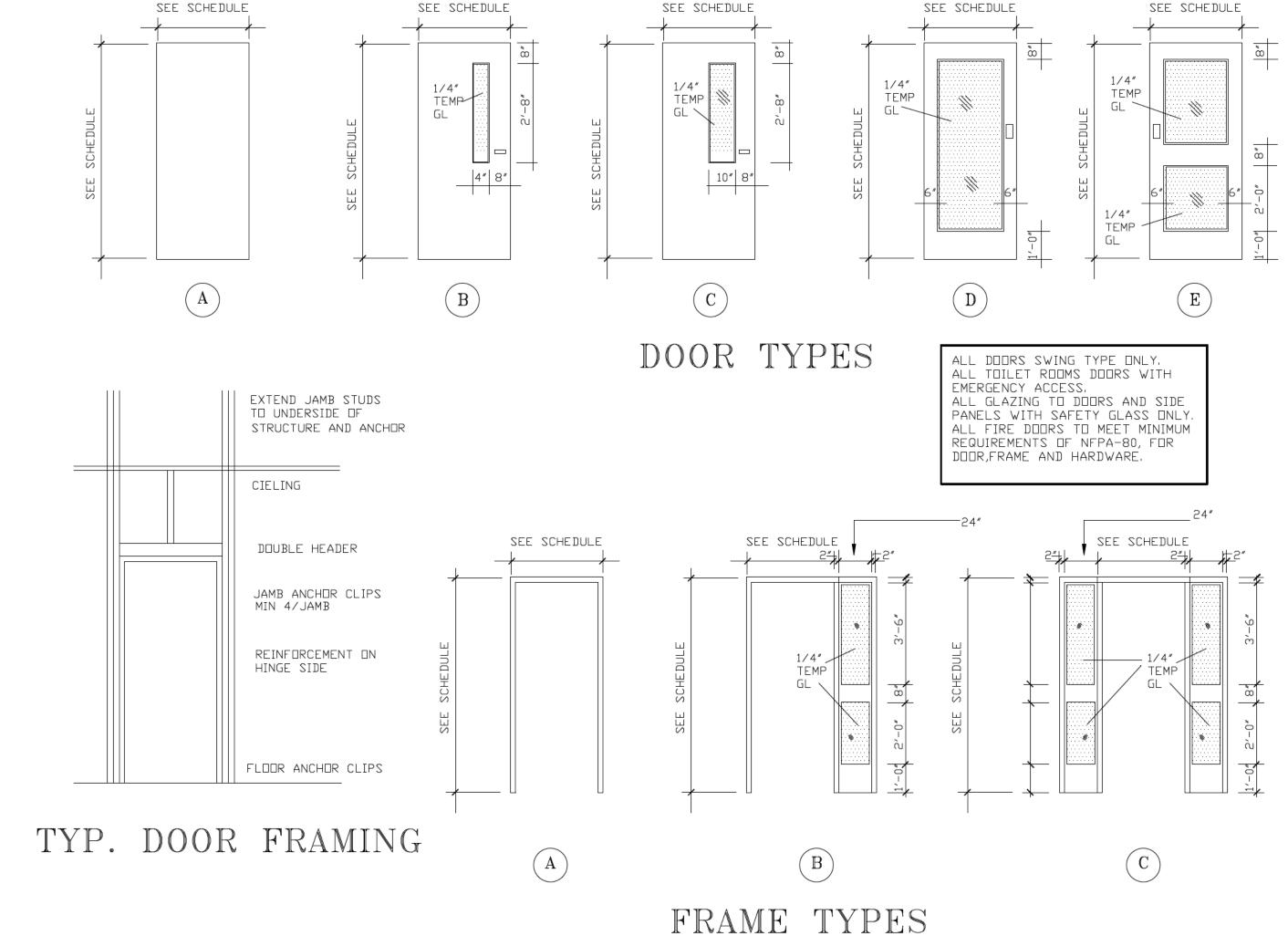




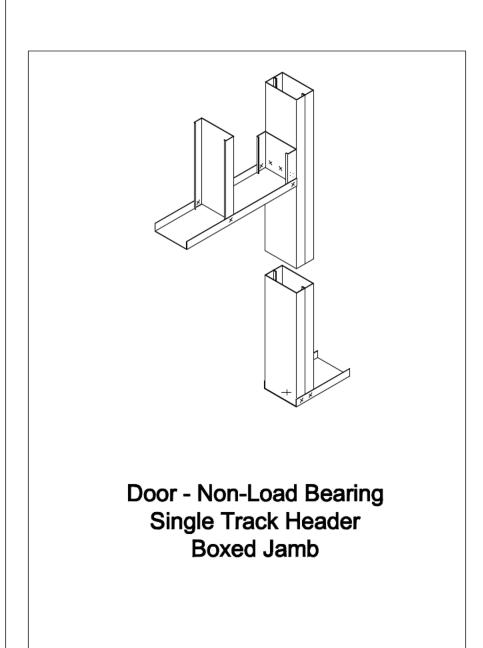


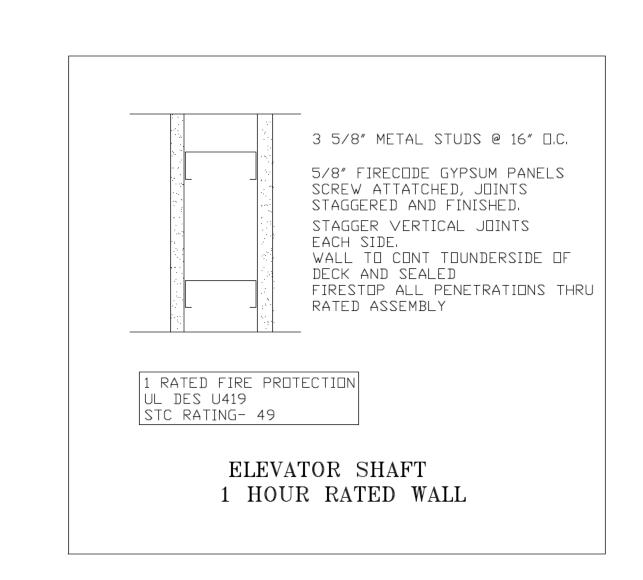






TYP. DETAILS





NOTES:

APPROVED FIRE DOOR AND FIRE SHUTTER ASSEMBLIES SHALL BE CONSTRUCTED OF MATERIAL OR ASSEMBLY OF COMPONENT MATERIAL THAT CONFORMS TO THE TEST REQUIREMENTS OF SECTION 715.3.1, 715.3.2 OR 715.3.3 AND THE FIRE PROTECTION RATING INDICATED IN TABLE 715.3 FIRE DOOR ASSEMBLIES AND SHUTTERS SHALL BE INSTALLED IN ACCRDANCE WITH THE PROVISIONS OF NFPA 80, ALL DOORS IN THE FIRE BARRIER WALLS SHALL BE RATED. DOORS THAT LEAD TO AREAS THAT MIGHT PROVE DANGEROUS TO A PERSON WHO IS VISUALLY IMPAIRED SHALL BE MADE IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE.

ALL EXIT DOORS SHALL BE INSTALLED WITH PANIC HARDWARE WITH DOOR LATCHING ASSEMBLY INCORPORATING A DEVICE WHICH CAUSES THE DOOR LATCH TO RELEASE AND THE LEAF TO OPEN WHEN A FORCE OF 15 POUNDS IS APPLIED IN THE DIRECTION OF EGRESS TO A BAR OR PANEL, THE ACTIVATING PORTION WHICH EXTENDS NOT LESS THAN ONE-HALF THE WIDTH OF THE DOOR LEAF, AND IS APPLIED AT A HEIGHT GREATER THAN 30" BUT NOT LESS THAN 44" ABOVE THE FLOOR, ACCEPTABLE MANUFACTURERS: VON DUPRIN, MONARCH, NORTON/EQ CONTRACTOR TO SUBMIT CUT SHEETS OF PANIC HARDWARE SYSTEM FOR APPROVAL. EVERY ASSEMBLY ROOM OR SPACE SHALL HAVE THE APPROVED OCCUPANCY LOAD POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN ENTRANCE TO THE ROOM OR SPACE.

ROOMS OR SPACES WHICH HAVE MULTIPLE CAPABILITY USE SHALL

BE POSTED AS SUCH, INSTALL MINIMUM 2A:10BC RATING, UL LABEL FIRE EXTINGUISHERS. ALL FIRE EXTINGUISHERS SHALL BE SECURELY MOUNTED TO THE WALL OR STRUCTURAL MEMBER OF THE BUILDING. TOP OF THE FIRE EXTINGUISHER TO BE NO MORE THAN 5', AND BOTTOM TO BE MINIMUM 2' ABOVE THE FINISH FLOOR.

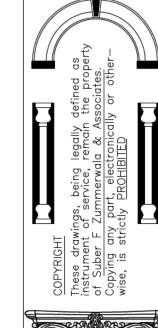
WHERE MOUNTED ON STRUCTURAL MEMBER, A ONE FOOT WIDE BAND OF RED PAINT SHALL BE APPLIED TO THE STRUCTURAL MEMBER, A MINIMUM OF 10' ABOVE FINISH FLOOR, FIRE EXTINGUISHERS SHALL NOT PROJECT MORE THAN 4" OUT FROM THE WALLS AND COLUMNS WHEN LOCATED IN PATH OF CIRCULATION, NOTES:

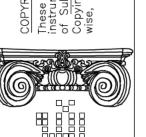
- DOOR HARDWARE CLOSERS, HANDLES, ETC. SHALL MEET ADA & ANSI 117.1 2. ALL EGRESS DOORS SHALL OPEN FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
- 3. THE MAXIMUM FORCE FOR PUSHING OR PULLING A DOOR SHALL BE: EXTERIOR HINGED DOORS---- 8.5 lbf. INTERIOR HINGED DOORS---- 5 lbf.

ALL DOORS TO COMPLY WITH IAC 400.310(J)(8). THRESHOLD SHALL NOT EXCEED 1/2". CHANGEES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELLED.

DOORS THAT LEAD TO AREAS THAT MIGHT PROVE DANGEROUS TO A PERSON WHO IS VISUALLY IMPAIRED SHALL BEMADE IDENTIFIABLE TO THE TOUCH BY TEXTURED SURFACE ON THE DOOR HANDLE.

ALL EXIT DOORS SHALL BE INSTALLED WITH PANIC HARDWARE WITH DOOR LATCHING ASSEMBLY INCORPORATING A DEVICE WHICH CAUSES THE DOOR LATCH TO RELEASE AND THE LEAF TO OPEN WHEN A FORCE OF 15 POUNDS IS APPLIED IN THE DIRECTION OF EGRESS TO A BAR OR PANEL. THE ACTIVATING PORTION WHICH EXTENDS NOT LESS THAN ONE-HALF THE WIDTH OF THE DOOR LEAF, AND IS APPLIED AT A HEIGHT GREATER THAN 30" BUT NOT LESS THAN 44" ABOVE THE FLOOR. ACCEPTABLE MANUFACTURERS: VON DUPRIN, MONARCH, NORTON/EQ CONTRACTOR TO SUBMIT CUT SHEETS OF PANIC HARDWARE SYSTEM FOR APPROVAL.





ROOM ADDITION

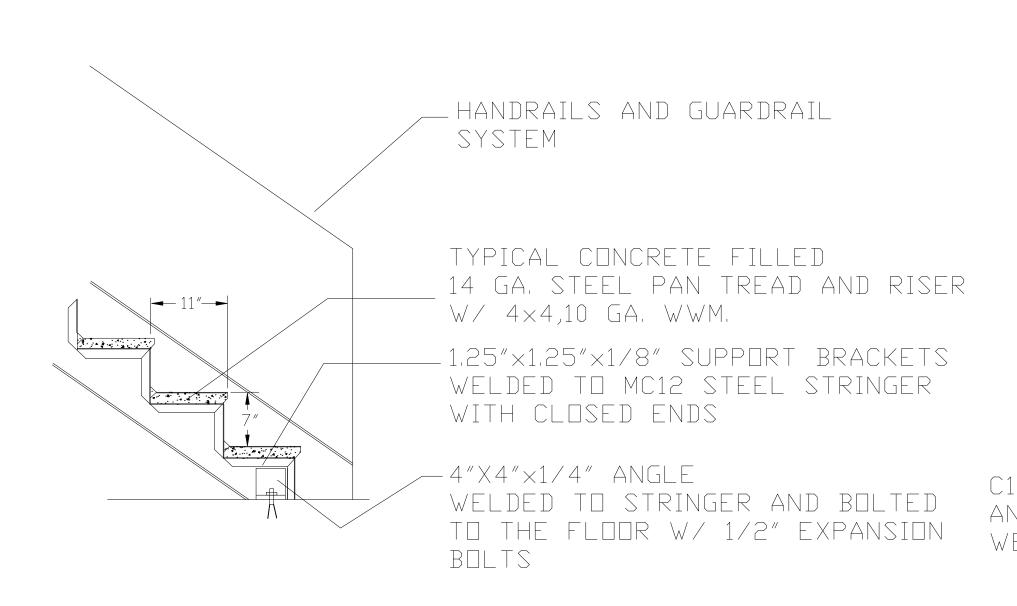
-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

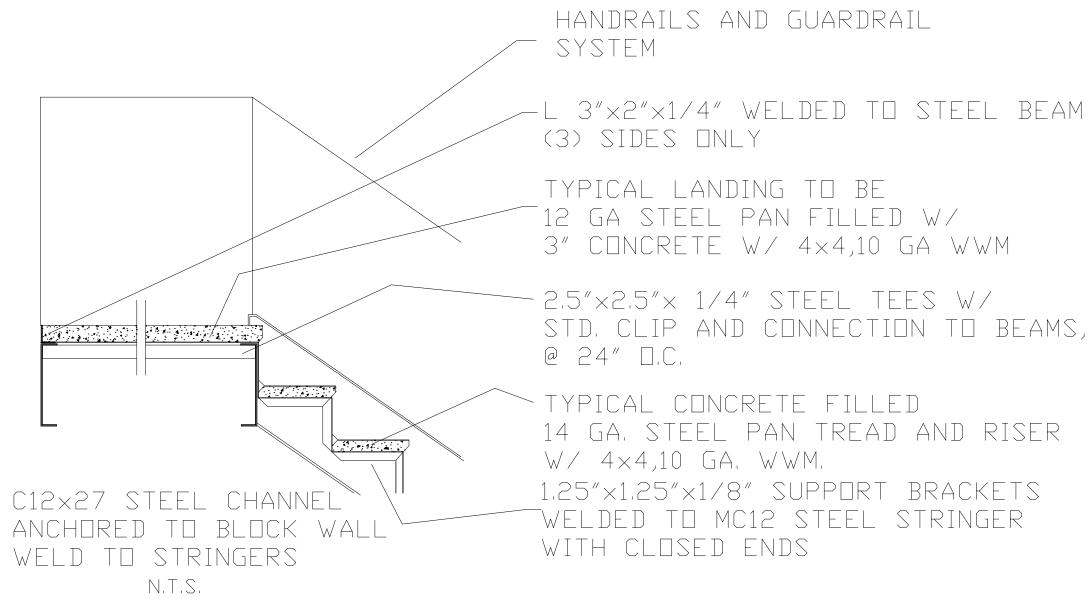
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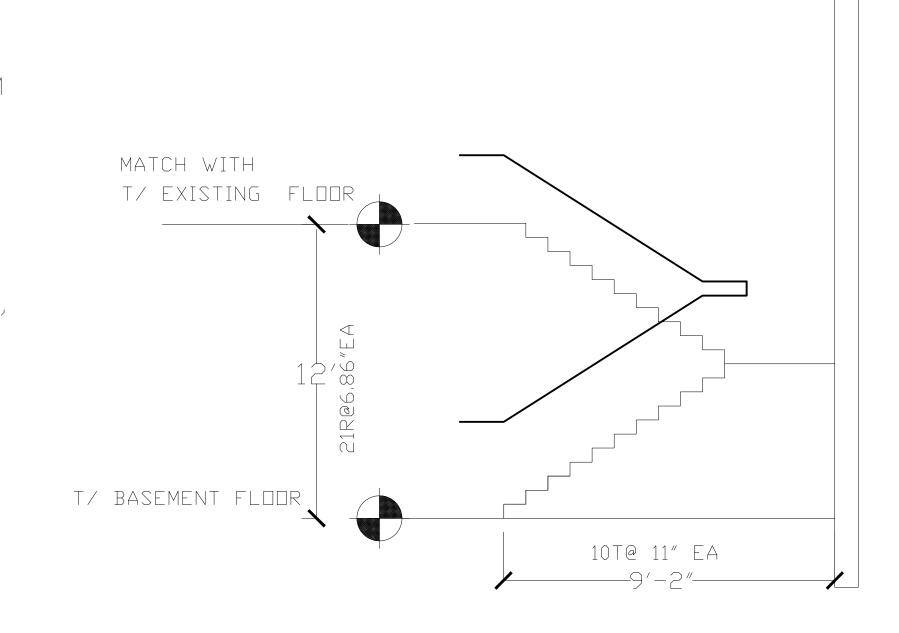
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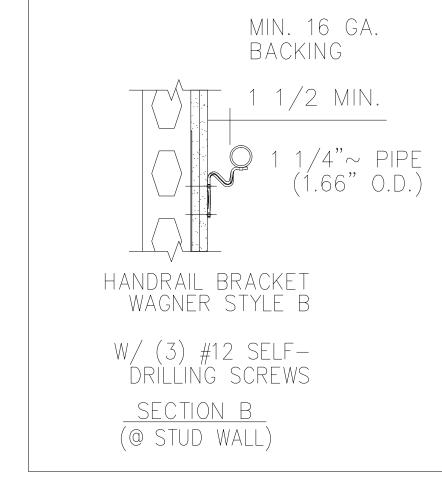


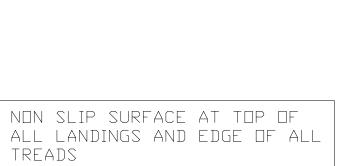




STAIRS KEY SECTION

HANDRAILS AND GUARDRAIL WITH RETURN AT THE WALLS





FABRICATOR TO SUBMIT SHOP DRAWINGS FOR REVIEW.

1" NOSING

TYPICAL CONCRETE FILLED METAL PAN STAIRS W/ CONT. HANDRAIL 7 " MAX RISERS 11" MIN TREADS NOSE TO NOSE HANDRAIL — NOTE: HANDRAIL BRACKET SHALL HAVE A MINIMUM AREA OF 3.25 SQ. IN. AND MINIMUM WIDTH ALONG BOTTOM EDGE OF 1-3/8" IF RECTANGULAR, AND A MINIMUM DIAMETER OF 2-3/8" IF ROUND IN ORDER TO COMPLY WITH 200 POUND PULLOUT AND/OR COMPRESSION

TESTS (NFPA 101-1985 LIFE SAFETY CODE - BRACKETS). STEEL ATTACHMENT PLATE APPLIED PARALLEL TO STRINGERS AS REQUIRED

HANDRAIL APPLICATION

STAIRS/HANDRAILS/GUARDRAILS:

HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF TREDS, SHALL BE PROVIDED ON BOTH SIDES

OF STAIRWAYS, SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWAL POSTS OR SAFETY TERMINALS. HANDRAILS PROJECTING FROM WALLS SHALL HAVE MIN 1 1/2" SPACE BETWEEN THE WALL AND HANDRAIL. HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION W/ DIA OF 1 1/4" TO 2", OR A NON CIRCULAR CROSS SECTION W/ A PERIMETER DIMENSION OF ATLEAST 4" BUT NOT MORE THAN 6 1/4", AND LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4". PROVIDE MINIMUM 1/8" RADIUS EDGES. HANDRAIL SHALL EXTEND ATLEAST 12" BEYOND THE TOP RISER AND ATLEAST 12" PLUS THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABVE FLOOR OR GRADE SHALL HAVE CONT GUARDRAILS NOT LESS THAN 42" IN HEIGHT, MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD OR ADJACENT WALKING SURFACE.

OPEN SIDES OF THE STAIRS W/A TOTAL RISE OF MORE THAN 15" FROM THE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 42" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMIDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER, REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6"IN DIA CAN NOT PASS THRU.

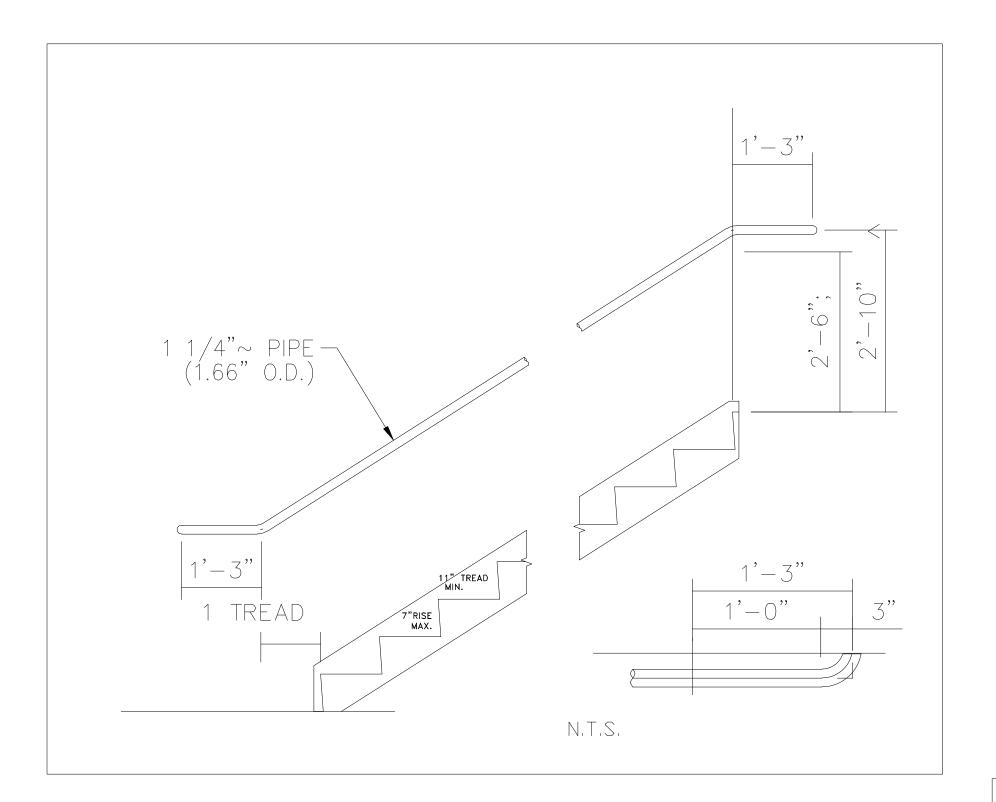
ALL STAIRS MIN 44" WIDE WITH 36" HIGH CONT HANDRAIL, BOTH SIDES WITH MAX. 4" OPENINGS. WITH SPINDLES SPACED SUCH THAT A 4" DIA BALL CAN NOT PASS THRU. 6'-8" MIN HEAD ROOM 7" MAX RISERS

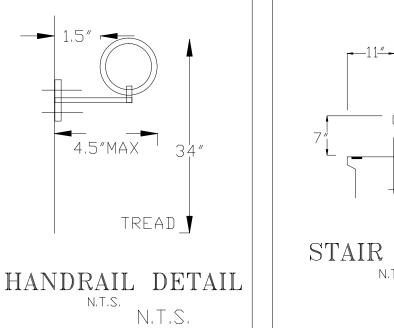
11" MIN TREAD NOSE TO NOSE 1" NOSING

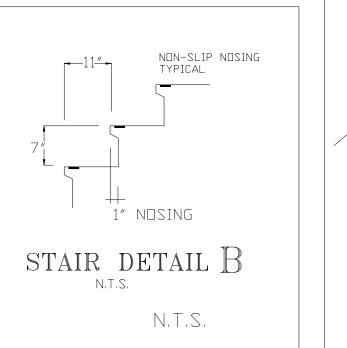
INSTALL CONT HANDRAIL FOR STAIRCASES WITHOUT ANY OBSTRUCTIONS

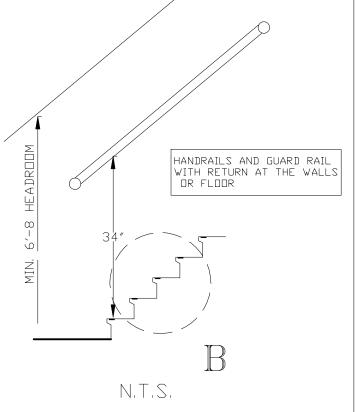
PROVIDE HANDRAIL ON BOTH SIDES FOR 44" OR WIDER STAIRS. ALL HANDRAILS TO BE 1 1/4 TO 2 1/4"DIA OR PERIMETER DIMENSION OF 4" TO 6 1/4", W/ CROSS SECTIONAL DIMENSION NOT TO EXCEED 2 1/4".

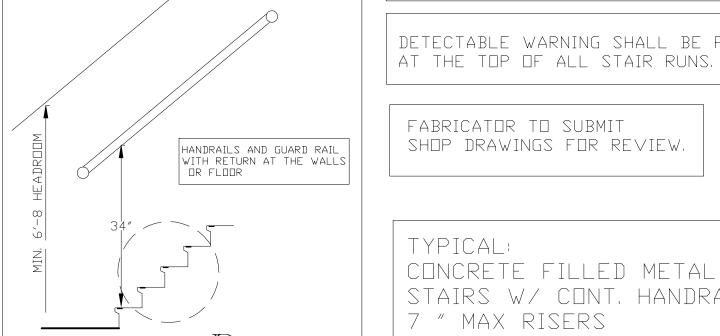
EXTEND HANDRAIL MINIMUM 12" AT THE BOTTOM AND MINIMUM 18" AT THE TOP/LANDING,

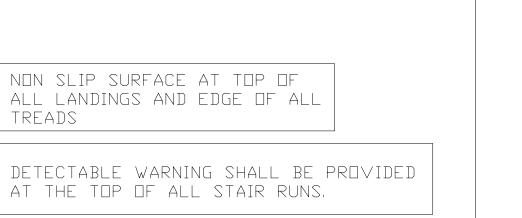


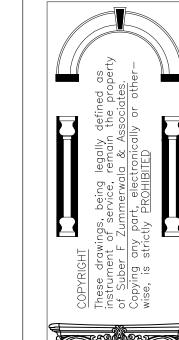










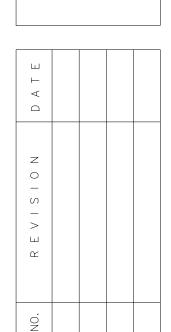






ROOM ADDITION

-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS



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GENERAL NOTES AND SPECIFICATIONS

DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS SHALL GOVERN. ALL WORK SHALL MEET ALL APPLICABLE CODES AND ORDINANCES OF BARRINGTON HILLS, ILLINOIS

CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. THIS CONSTRUCTION DOCUMENT HAS BEEN PREPARED BASED ON SOIL BEARING CAPACITY OF 3000 P.S.F. IT IS THE RESPONSIBILITY OF DWNER/CONTRACTOR TO INFORM THE ARCHITECT IF THE SOIL CAPACITY

DOUBLE HEADERS AND RAFTERS AROUND ALL SKYLIGHTS AND DORMERS. ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR ARE TO HAVE TEMPERED

BUILD DUT WALLS AND CEILINGS AS REQUIRED FOR ALL MECHANICAL AND PLUMBING RUNS.

GLAZING. ALL GUARD RAILINGS TO BE MIN. 36" HIGH WITH SPINDLES SPACED SUCH THAT A 4" DIA SPHERE

CAN NOT PASS THRU PROVIDE DRYWALL FLOOR TO CIELING BEHIND ALL TUBS ON OUTSIDE WALLS. COMBUSTIBLE MATERIALS SHALL NOT BE PLACED OR INSTALLED WITHIN 12" OF FIREPLACE OPENINGS.

EXTERIOR WALL DIMENSIONS ARE TO DUTSIDE OF FACE BRICK, SHEATHING AT SIDING, OR CONCRETE. INTERIOR DIMENSIONS ARE TO THE WOOD STUDS. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALED DIMENSIONS FROM THE BLUEPRINT.

OWNER AND ARCHITECT SHALL NOT BE HELD LIBABLE FOR INJURY INCURRED BY CONTRACTOR OR CREW, AND SHALL REMAIN HARMLESS THROUGHOUT THE COURSE OF WORK.

FINISH SHOWER AND BATH TUB WALLS W/ NON-ABSORBENT FINISH TO MIN. 6'-6" HIGHT.

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. ANY DISCREPANCY IN DRAWINGS OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK

ALL CONTRACTORS MUST CARRY PUBLIC LIABILITY AND WORKMAN'S COMPENSATION INSURANCE TO THE SATISFACTION OF THE OWNER.

ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND MUST BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARDS AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT. ANY AND ALL SUBSTITUTIONS EQUAL OR BETTER SHALL BE APPROVED BY THE ARCHITECT

WHEN CONSTRUCTION HAS COMMENCED AND A CONDITION IS FOUND TO EXIST WHICH WAS UNKNOWN OR UNFORSEEN, IT IS THE CONTRACTORS' RESPONSIBILITY TO NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

ALL MATERIALS SHALL BE SAFELY DRGANIZED IN SUCH A WAY AS TO INFLICT MINIMUM DAMAGE, OVERNIGHT AND WEEKENDS ESPECIALLY. EACH TRADE SHALL BE RESPONSIBLE FOR REMOVEING THEIR OWN DEBRIS FROM THE SITE TO MAINTAIN A NEAT, ORDERLY CONSTRUCTION

ALL WORK SHALL BE GAURENTEED FOR A PERIOD OF ONE (1) YEAR FORM THE DATE OF SUBSTANTIAL

HVAC CONTRACTOR SHALL SIZE AND PROVIDE LABOR AND MATERIALS FOR INSTALLATION OF ALL EQUIPMENT, DUCTWORK, DIFFUSERS, AND VOLUME DAMPERS FOR BALANCING TO MAINTAIN ADEQUATE HEATING AND COOLING. VERIFY ZONE CONTROLS WITH OWNER. VENT ALL

PROVIDE FLASHING AT TOP OF ALL EXTERIOR OPENINGS, WINDOW AND DOOR SILLS, ROOF VALLEYS ROOF TO WALL INTERSECTIONS, CHIMNEY TO ROOF INTERSECTIONS AND AS NEEDED. FIRESTOP MECHANICAL PENETRATIONS, STUD, JOIST AND RAFTER SPACES TO MEET LOCAL CODE REQ'S.

SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE WITH ALL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE SAFETY SYSTEMS IN PERFACTL` ITEMS AND COMPONENTS TO ACHIEVE THIS RESULT.

DOUBLE RAFTERS AND HEADERS @ SKYLIGHTS

CONTACTORS TO VERIFY ALL MATERIALS AND INSTALL THE SAME AS PER MANUFACTURERS PRINTED INSTRUCTIONS, ALL MATERIALS AND BUILDING COMPONANTS

CONTRACTORS TO BE FULLY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS PROCEDURES AND CONDITIONS INCLUDING ALL OSHA AND SAFETY REQUIREMENTS. CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS SHOWN ON PLANS. CONTRACTORS SHALL STRICTLY ADHERE TO ALL APPLICABLE LAWS, CODES AND

ALL MANUFACTURED ITEMS, COMPONANTS, ASSEMBLIES SHALL BE STRICTLY INSTALLED AS PER MANUFACTURERS PRINTED INSTRUCTIONS.

ALL LOCATIONS WHERE AIR, WATER OR DUST MIGHT INFILTRATE TO INTERIOR SHALL BE CAULKED ON BOTH SIDES. SET EXTERIOR EDGES OF ALL EXTERIOR THRESHOLDS IN CAULKING TO PROVIDE A
WEATHERTIGHT SEAL. CAULK AND SEAL ALL EXPOSED EXTERIOR AND INTERIOR JOINTS ABOVE AND BELOW GRADE AND ALL JOINTS AND APPONDAGES CONSEALED BY OTHER MATERIALS, FLASHINGS ETC WITH CAULK OR SEALANT AT EXPOSED AREAS IN COLOR TO MATCH SURROUNDING SURFACES. CAULK ALL JOINTS AROUND OPENINGS TO PROVIDE A WATERTIGHT AND AIRTIGHT SEAL CLEAN ALL JOINTS THOROLY, AREAS ADJUCENT TO JOINTS SHALL BE MASKED TO OBTAIN A NEAT SEALER LINE, ALL JOINTS GREATER THAN 3/8'SHALL BE FILLED WITH BACKUP ROD.

PROVIDE CEILING AND WALL ACCESS PANELS WHERE REQUIRED BY CODES FOR HVAC, ELECTRICAL, SPRINKLER SYSTEM OR OTHER TRADES, PROVIDE APPROVED PANELS WITH SELF CLOSERS FOR ALL FIRE RATED PIPES GOING THRU RATED ASSEMBLIES SHALL BE PROTECTED AND RATED. FIRESTOP ALL FURRING, PARTITIONS, AND OUTSIDE WALLS AT LEVEL OF EACH FLOOR

PROVIDE FLASHINGS AT TOP OF ALL EXTERIOR OPENINGS, WINDOWS, DOORS, ROOF TO WALL JUNCTURES AND WHERE CALLED FOR IN PLANS. INSTALL FIRE DAMPERS AT ALL LOCATIONS WHERE AIR DISTRIBUTION SYSTEMSPENETRATEFIRE RATED ASSEMBLIES, FIRE DAMPERS SHALL COMPLY WITH UL555 AND SHALL BE SO LABLED. FIRE DAMPERS SHALL BE CAPABLE OF MAINTAINING THE FIRE RATING.

AND WALLS, WOOD OR MASONRY TIGHTLY FITTED.

GYPSUM BOARD AND DRYWALL WORK SHALL MEET ALL REQUIREMENTS OF JOINT COMPOUND SYSTEMSHALL BE MIXED, APPLIED, AND FINISHED IN IANCE WITH MANUFACTURERS PRINTED DIRECTIONS, INSTALL METAL

ALL MATERIALS, INSTALLATION AND WORKMANSHIP FOR CERAMIC TILES SHALL COMPLY WITH ANSI SPECIFICATION'S A108.4 AND 108.5 AND ALSO
"HANDBOOK FOR CERAMIC TILE INSTALLATION", PUBLISHED BY THE TILE
COUNCIL OF AMERICA. ALL TILE SHALL COMPLY WITHANSI SPECIFICATION JUNCTION BETWEEN DISSIMILAR SURFACES TO BE GROUTED WITH G.E. SILICONE RUBBER CEALANT.

APPLY MOISTURE PROTECTION IN STRICT ACCORDANCE WITH MANUFACTURERS

CAULK ALL JOINTS AROUND OPENINGS TOPROVIDE A WATERTIGHT AND AIRTIGHT SEAL,

All shower head heights to be 80" AFF at

fiberglass tub/showers surrounds and 84" AFF at ceramic tub/showers surrounds. Pre-fab fireplace chase inside face to top w/ 5/8" firecode gyp. Electrical panels boxes to have outside ground and ground to street side of meter. Jumping water meter not allowed.

1. It shall be assumed that all contractors are experienced and thouroughly knowledgeable in their respective areas of construction and shall perform in a responsible manner in established construction sequence. Recognizing propiety of drawings and details and shall inform the owner of potential problems when the drawings are unclear or inconsistent.

Contractor shall be responsible to notify owner of discrepancies or conflicts in these drawings found during bidding and/or construction prior to performing the work. The owner shall resolve such discrepancies expeditiously and notify contractor either verbally or in writing as applicable to the condition.

Contractor shall verify existence and location of all utility services and coordinate as required, notifying the owner of variations or conflicts.

If not specifically defined on these drawings. Material and/or equipment shall be identified by contractor to the owner within a reasonable time to allow selection, purchase, and delivery so as to prevent delay in the job schedule.

Material substitutions shall be approved by the owner prior to purchase and installation. Owner is not responsible for non-approved substitutions.

All material shall be handled and installed per manufacturer's specifications and reccommendations.

Written dimensions on all drawings shall take priority over scaled

Contactors shall verify and assume responsibility for dimensions and conditions on the job site. Any discrepency or variations frome the dimesions and conditions on these drawings shall ve brought to the notice of the owner prior to the commencement of any work.

All work shall be performed in accordance with plans issued for construction only.

Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection w/ the work.

All contractors shall be responsible to keep the site clear of material, tools, and debris. A dumpster will be provided on site for all contractors use.

All contractors and subcontractors performing underground work shall contact J.U.L.I.E. at 1-800-892-0123 at least 48 hours prior to the start of any work.

All work performed shall comply with all applicable Local and State Building codes, Ordinances, and Regulations and all other authorities having Jurisdiction.

If suitable soil bearing is not encounterd at the depth shown on the drawings, notify the owner before proceeding with work. All fill below slabs shall be compacted to 95% dry proctor density. Use only sand or gravel for backfilling inside of foundation. Create proper site drainage away from building, with no pockets. Install driveway from garage to street. If required, include breakout & repair on curb & gutter. Install concrete public sidewalk if required and install accordance with governing regulations.

2. Design Loads:

CATHEDRAL

= 40# LL 10# DL ALL AREAS

= 60# PLF OR ACTUAL LOAD

= 10# LL 10# DL ROOF SLOPES UP TO 3 IN 12 = 20# LL 10# DL ROOF SLOPES OVER 3 IN 12 = 30# LL 15# DL ALL SLOPES

= 30# LL 15 # DL ALL SLOPES

DECK = 60# II 10# DI FXTERIOR BALC□NY = 60# LL 10# DL EXTERIOR

3. CONCRETE

- A. Foundation types and designs may vary with the individual pertinent soils conditions on each lot. The Architect does not warrant or quarantee this building design in locations where inadequate soils or landfill occurrences require special or additional design for structure or gas mitigation due to these occurrences.
- B. All design, revisions, engineering, installation and liability of soil conditions, gas mitigation and structural designs due to inadequate soils or landfill occurences shall be the responsibility of the "BUILDER — OWNER" or it's subcontractors involved with the design and installation of such; and the Architect shall not be held liable or responsible for their implementations.
- C. Contractor shall be responsible for size, location and installation of revised steel reinforcing per local codes or specific soil conditions, whichever is more

prior to footing pour.

- D. 1/2"x10" anchor bolts @ 4'-0" o.c. max.; minimum 2 bolts in each piece of wall plate, 12" max. from foundation corners. E. Soil test must be approved by Geo technical Engineer
- F. All concrete footings are designed to bear on minimum soil pressure of 3000 p.s.f. and shall be placed on firm, undisturbed soil 3''-6'' minimum below grade. Contractor to reinforce concrete footings and poured concrete walls as required for specific soil conditions or local codes, whichever, is more restrictive.
- G. All concrete shall attain a 28 day compressive strength as follows:

Garage slab Basement floor slab 3000 p.s.i. Stoop & Patio slabs 3500 p.s.i.

- H. Provide minimum 4" concrete cover at under slab utility locations. When concrete encasement of utility lines is required, increase slab thickness at the utility line. Install utilities lines well below slab.
- I. Provide isolation joint material (asphalt impregnated) between foundation walls and all slabs including patio, porch and sidewalks.

top of foundation for the framing contractor.

J. Provide "Zip Strip" or tooled control joints where indicated on the foundation plans. K. Contracor shall be responsible for providing a level

4. STRUCTURAL STEEL

A. All Structural steel shall conform with ASTM specifications A-36.

B. All bolts to conform to ASTM A325-617, 3/4" C. All pipe columns shall conform to ASTM A-615

A. Laminated veneer lumber (LVL) shall provide the design values equal to or exceeding the following: 2800 psi in Bending, Fb 285 psi in Horizontal Shear, Fv

2,000,000 psi in Modulus of Elasticity, E B. Unless otherwise noted, all dimension framing lumber shall be Can. SPF or Hem Fir #2 unless otherwise noted, and shall have an allowable bending stress + 850 psi MIN

C. Unless otherwise noted, provide:

1. Double Headers and Trimmers at all floor openings. 2. Double framing members under all parallel partitions (spread apart as required to allow mechanicals to penetrate walls above).

3. Double 2x12 headers with 1/2" plywood between (unless noted otherwise) at all òpenings in EXTERIOR walls.

5. 3/4" high density T & G, CDX plywood subfloor glued and nailed. Panel span rating shall be APA 24/32, Exposure 1, with sealed edges. Install per manufacturers' spacing and edge recommendations.

- 6. 1/4" underlayment (minimum) under vinyl or tile on wood frame floor systems. 7. 1/2" CDX plywood roof sheathing. APA panel span rating shall be 16/0, exposure 1, with sealed edges. Install per manufacturers' spacing and edge
- 8. Double 2X6 strongback @ mid span for ceiling joists with spans greater than 10'-0".
- 9. Collar ties down MIN 1/3 of the vert, distance between the ridge board and ceiling joists.
- 10. Double floor joists under whirlpool tubs. 11. Double framing members min. around openings in rafters, floors, and ceilings, DORMERS AND SKYLITES etc.
- masonry veneer, and cedar accent siding. See elevations for locations. E. Pressure treated lumber to be used where wood is in

contact with concrete and for 2x mud sill.

D. INSTALL ONLY plywood sheathing behind all

- F. Exterior deck construction shall be with pressure treated lumber and R.S. cedar with dimensions as indicated on the plans.
- G. Exterior wall sill plates shall be 2x6 pressure treated lumber.
- H. Contractor shall be responsible for providing steel leveling shims at foundation if leveling is needed.
- I. 5" min. house numbers of contrasting color posted within 10' of the front door facing the street from the time the front
- K. All columns or solid framing should carry load and extend down through the levels below and terminate at the foundation, structural steel, or at other bearing points designed to carry
- L. Cross bridging shall be solid 2x's, at midspans, IF SPAN IS MORE THAN 15' M. Use 2x6 studs @ 16" o/c with all walls over 10'-0" & exterior walls in the basement.
- N. Use metal joist hangers on all joists butting to headers. O. Interior trim and finishes to be selected by owner.
- P. All nailing to comply with "Recommended nailing schedule" of the National Building Code. Q. Lap on joists min. 3"

6. MASONRY

A. Do not lay masonry in temperatures less than 40° F B. Set steel lintels in beds of mortar

C. Lay brick plumb, level, and true to line in full beds of mortar. Lay brick in running bond all joints in brickwork and the connection to other materials shall be filled with mortar as each coarse is laid. Do not retemper mortar, provide joints of uniform thickness max. 1/2"

E. Provide 3/16" corrosion resistant corrigared wall ties 24" o/c horiz. and 19" o/c vert. securely anchored to studs. Base flash to extend min. 6" under building paper.

G. Provide weep holes @ 24" o/c by leaving first coarse head joint open.

- B. INSTALLSIDING AS PER ELEVATIONS.
- B. Air infiltration barrier shall be applied on all exterior walls.
- Install as per manufacturer's requirements. C. Air infiltration barrier over wall sheathing at all masonry
- veneer, wood siding and wood trim locations. D. 240 #, 3 tab, self-sealing fiberglass shingles on 15# roofing felt on 5/8" CDX PLYWOOD SHEATHING.
- Install #15 felt under all shingles.
- Nails (hand nailed) only to be used for roof shingle attachment.
- No staples allowed. G. Flash all roof to wall conditions. H. Gutters to be 4" .032 gauge aluminum with baked enamel finish. Downspout to be 4" .20 gauge aluminum with baked
- enamel finish. INSTALL CONT ICE SHIELD UNDER THE ROOFING SHINGLES W/MIN 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A WATERPROOF MEMBRANE EXTENDING FROM THE EAVE EDGE TO MIN 24" INSIDE OF EXTERIOR WALLS
- I. Ridge vent to have external baffles and mesh filters and shall have a min. net free area of ventilation of 1 to 300 ratio with 50% to be at ridge and 50% at eaves. Soffits at eaves to be continuous perforated prefinished aluminum. Install per manufacturer's requirements to insure proper ventilation. All soffits and fascias to be an integrated aluminum system.

A. Provide R-19 batt insulation in all exterior walls and R-48 blown insulation (or batt and blown insulation) in all ceilings or rafters adjacent to the exterior or to unheated spaces, plus R-19 at exposed floors and cantilevered floors or fireplace chases. specs. R-19 batts at fireplace chase walls and under fireplace unit.

9. DRYWALL

- A. All walls and ceilings to have 1/2" gypsum @ 16" o.c.
- at framing unless otherwise noted. B. Garage to have 5/8 firecode drywall with 1 coat of fire tape on all walls BEAMS, COLUMNS and entire
- ceilings, unless noted otherwise. C. Utility rooms with furnace to have one layer 5/8"
- firecode drywall. Finish tape all walls and ceiling. D. Use water resistant durrock for exposed walls at shower and tub wall areas receiving fiberglass enclosure.
- 10. INTERIOR TRIM AND FINISHES to be selected by owner.

11. DOORS & WINDOWS

- A. All patio doors operable leaf inside.
- B. Window supplier to verify at least one window in all bedrooms to have a clear egress opening of 5.7 sq. ft. with min opeining dimensions of 24" in height and 20" in width. Sill height not areater than 44" above finished floor.
- C. Door and window infiltration shall be in accordance with village ordinance and shall meet performance standards ANSI/AAMA 101-88 for metal windows DH-C40 for vinyl windows and the CRF shall not be less than 55.
- D. Provide insulating double glazing at all exterior glass areas and of openings) and head flash all windows and doors.

E. Caulk at all sash, sliding glass doors, entrance doors and bottom

in windows as per local codes.

- 12. PLUMBING A. Sub contractor shall be responsible for the design and lalyout of
- the plumbing system. All plumbing & water lines shall comply to all governing codes. When necessary to run branches in ext. wall they shall be well
- insulated to insure against freezing. All gas piping to be in accordance with all ordinances. E. Water lines to be copper piping 3/4" mains, 1/2" branches, 12"

air cushions. Piping below slabs to be cast iron.

PLUMBING NOTES

- 1. ALL PLUMBING WORK TO MEET STATE OF ILLINOIS AND LOCAL PLUMBING CODES 2. ALL SUPPLY PIPING TO BE COPPER TYPE 'K' FOR BELOW GROUND AND TYPE 'L' FOR ABOVE GROUND. 3. PROVIDE SHUT OFF VALVES TO ALL FIXTURES.
- 4. PROVIDE 12" AIR CHAMBERS TO ALL FIXTURES AND 24" TO ALL RISERS. 5. ALL WASTE PIPING TO BE PER CODES 6. ALL FLOOR DRAINS TO BE VENTED. 7. DO NOT WET VENT.

F. Provide cleanouts for 100% rodability.

- 8. PROVIDE SHUT OFF VALVE ON BOTH SIDES OF THE METER
- 9. WATER SUPPLY AND WASTE PIPES SHALL NOT BE INSTALLED IN EXTERIOR WALLS. SEWER EJECTOR PIT TO BE VENTED AS PER STATE CODES. ALL PLUMBING PIPES TO BE PROTECTED FROM FREEZING AT ALL OUTSIDE
- ALL WALL TOP PLATES TO BE LAPPED AT CORNERS INSTALL CONT HANDRAIL FOR STAIRCASES WITHOUT ANY OBSTRUCTIONS OR NEWELL POSTS. THE HANDRAIL TURNOUT OR VOLUTE AT FOYER MUST EXTEND TO THE EDGE OF NOSING. PROVIDE HANDRAIL ON BOTH SIDES FOR 44" OR WIDER STAIRS. ALL HANDRAILS TO BE 1 1/4 TO 2 1/4"DIA OR PERIMETER DIMENSION OF 4" TO 6 1/4", W/ CROSS SECTIONAL DIMENSION NOT TO EXCEED 2 1/4". PROVIDE SAFETY GLAZING IN ANY GLASS ADJUSCENT TO TUB OR SHOWER WITHIN 60" ABOVE THE DRAIN INLET.
 PROVIDE SAFETY GLAZING IN ALL GLASS DOORS, OPERABLE OR FIXED, SIDELITES ADJUCENT TO ANY DOORS AND ANY GLASS LESS THAN 18"-ABOVE FINISHED FLOOR.

13. HVAC

- A. Sub contractor shall be responsible for the design and lalyout of the
- heating system. B. All exhaust fans vent to exterior, not roof or attic vents. C. Heating systems shall be capable of heating the residence to 72° F
- at outside temp, of -10° F and wind of 15 mph with heat loss calculated in accordance with current ASHREA standards. Air conditioning system shall be capable of cooling the residence to 74° F at outside temp, of 95° F and maintaining 40° F indoor relative humidity with AC load calculated in accordance with current ASHREA standards. D. Ducts shall be first prime grade sheets of galvanized iron 20-26 ga.

Guage and bracing as duct dimension requires. Insulate ducts in

unheated spaces. Provide dampers in ducts and @ registers for system

E. Provide 2" min. insulation @ heat supplies @ exterior walls.

F. Provide combustion air to all gas fired equipment AS PER MANUFACTURER.

A. Sub contractor to be responsible for the design and layout of the electrical system. SUBMIT PANEL SCHEDULE FOR APPROVAL.

BATHROOM OUTLETS TO BE ON 20AMP BRANCH CIRCUIT.DEDICATED THE DINING ROOM AND KITCHEN OUTLETS SHALL BE ON 20AMP BRANCH CICUIT. LAUNDRY OUTLET TO BE ON DEDICATED, 20AMP BRANCH CIRCUIT.

ALL 1/2 HP OR LARGER MOTORS MUST BE ON

PROVIDE ELECTRICAL OUTLETS WITHIN ALL HABITABLE AREAS NO MORE THAN 12'APART, WITHIN 6'OF ANY DOOR OPENINGS AND ON ANY WALL 2' WIDER OR MORE, INCLUDING FOYER. ALL COUNTERTOP OUTLETS TO BE GFI PROTECTED SPACED SO THAT THEY ARE NO MORE THAN 4' APART AND ON COUNTER/WALL SPACE 12" OR WIDER.

GROUNDING ELECTRODE CONDUCTOR TO RUN CONTINUOUS FROM THE NEUTRAL BUS BAR IN THE MAIN PANEL TO THE STREET SIDE OF THE WATER METER (WITHIN 5'OF ENTRY TO THE BUILDING), JUMPERED AND TAGGED. PROVIDE MIN #8 COPPER WIRE. A SUPPLEMENTAL GROUND SHALL ALSO BE INSTALLED. CLOSET LIGHTS TO BE GLOBED, FLOURESCENT OR RECESSED AND MORE THAN 6" ABOVE THE SHELF.

ALL ELECTRICAL WORK TO COMPLY WITH NEC CODES WITH

DEDICATED BRANCH CIRCUIT.

LOCAL AMENDMENTS

* ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS * HVAC CONTRACTOR TO VERIFY THERMOSTAT

* ALL ELECTRICAL AND MECHANICAL EQUIP-MENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS. DRAIN THE SHIMP AND WATER HEATERS)

ARF SUBJECT TO RELOCATION DUE TO

FIELD CONDITIONS. * ALL SMOKE DETECTORS AND C.O. DETECTORS TO BE 110 V w/ BATTERY BACKUP, WIRED IN SERIES, INTERCONNECTED TO ALL OTHERS. MIN 15'-0" FROM ALL BEDROOM DOORS. MIN 1 SMOKE DETECTOR PER FLOOR AND ONE PER INSIDE BEDRMS. DETECTORS SHALL HAVE A VISIBLE LIGHT TO INDICATE ITS PROPER

SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.

* PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL

* ALL CLG FANS AND CHANDELIERS TO BE

ADEQUATLY REINGFORCED WITH UL LISTED FAN BOXES.

* GARAGE TO BE ON SEPARATE CIRCUIT

- 15. THERMAL AND MOISTURE PROTECTION A. Unless otherwise noted provided R-19 batts in all ext. wall w/ vapor barrier to warm side, R-38 batts in all ceiling, or rafters adjacent to the exterior or the unheated spaces w/ vapor barrier to warm side. intersection of dissimilat materials to be caulked w/ non-hardening
- and non-staining caulk. B. Exposed paper of insulstion in basement must have a flame spread
- rating of 25 or less. C. Metal flash all openings roof/siding junction, window & door heads, or as otherwise required by codes.

16. ADDITIONAL MECHANICAL & ELECTRICAL

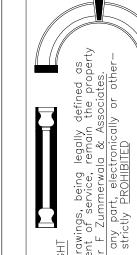
- A. Pre-fabricated fireplace shall be protected with a hearth of noncombustible material. Fire stop chimney at all floor, ceiling and roof penetrations. All fireplaces shall be U.L. approved. Fireplace flue shall be equipped with an approved spark arrestor. Insulate
- all chase walls and 1st floor ceilings above fire box. B. All electrical and plumbing requirements shall comply with local building codes. All outdoor, bathroom and garage wall receptacles shall be provided with ground fault circuit protection. Service panels to be 40 circuit, 200 amp, 110 volt. Verify with owner.
- . All furnaces shall be switched.

shall make the connections.

D. Provide gray box for washer and provide solid metal dryer vent (taped — no screws) to exterior and valved gas line. E. All sewer and water sleeves to be depth and separation as

per local code below adjacent finish grade.

F. In all buildings a continuous conduit shall be installed from the water meter to an exterior remote water meter reader at a location to be approved by the Water Department. The conduit shall be capable of accepting a low voltage minimum 2 conductor cable supplied and installed by the electrical contractor. The cable shall be copper and a minimum #18. The water department



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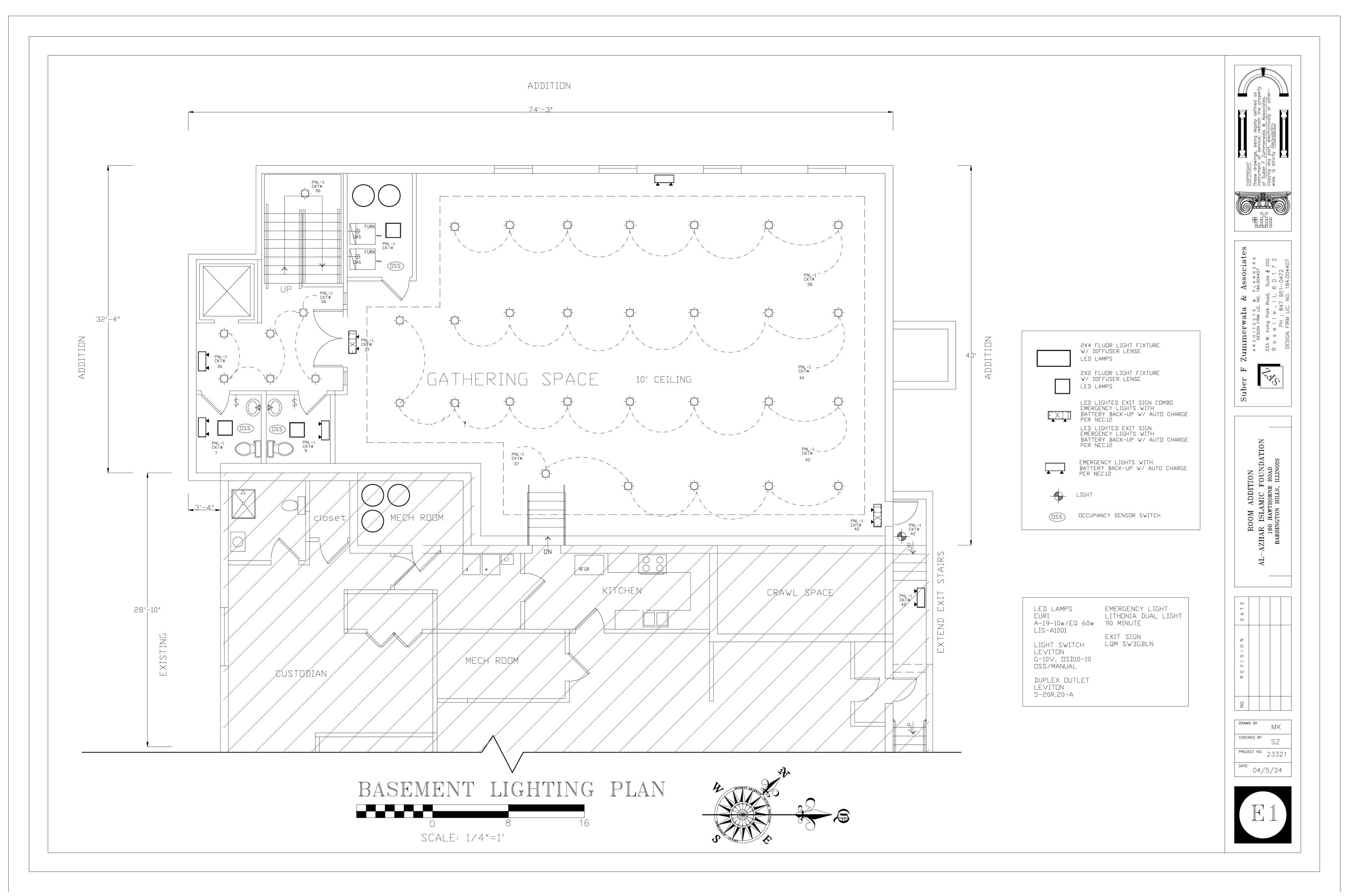
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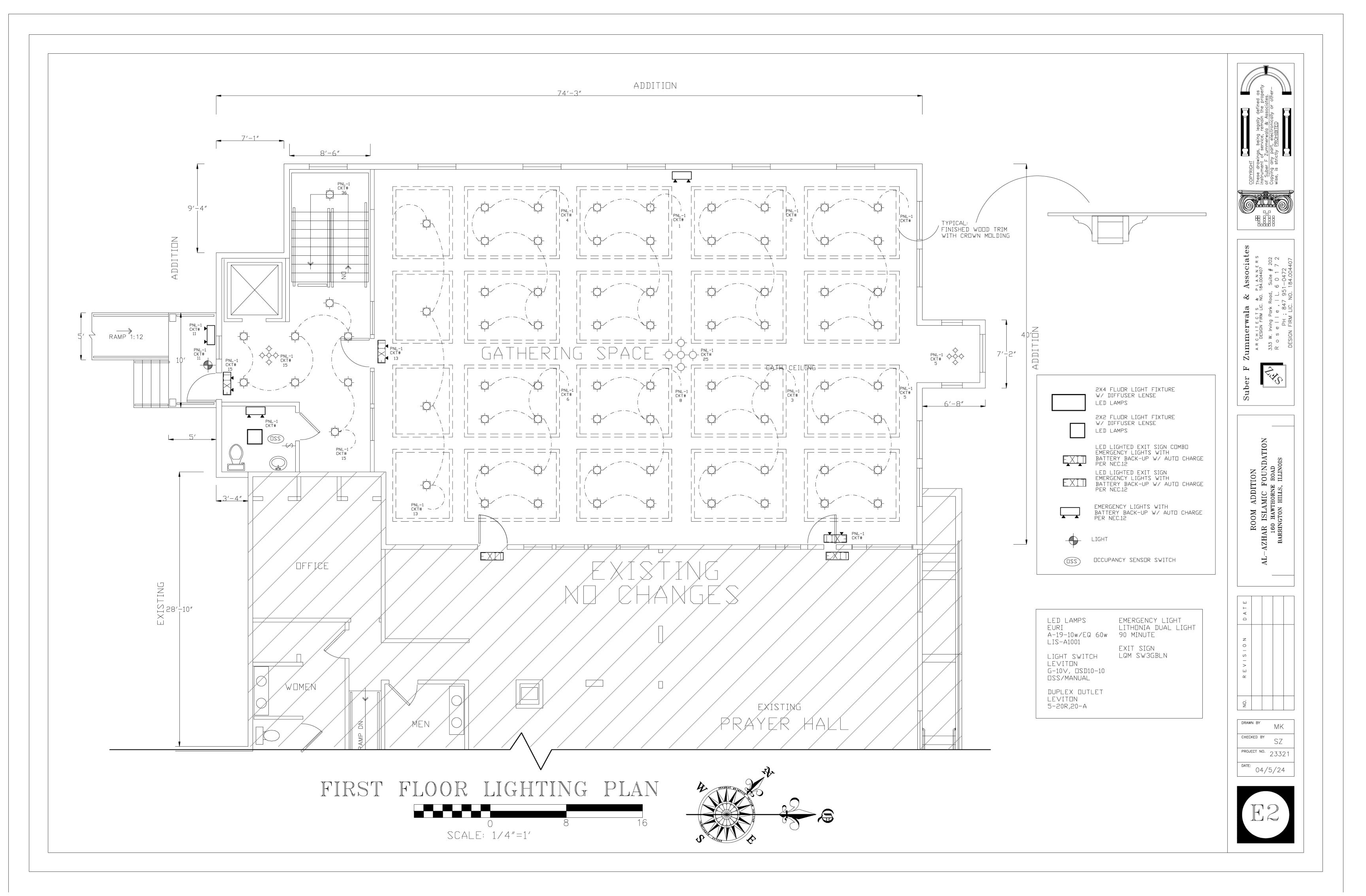
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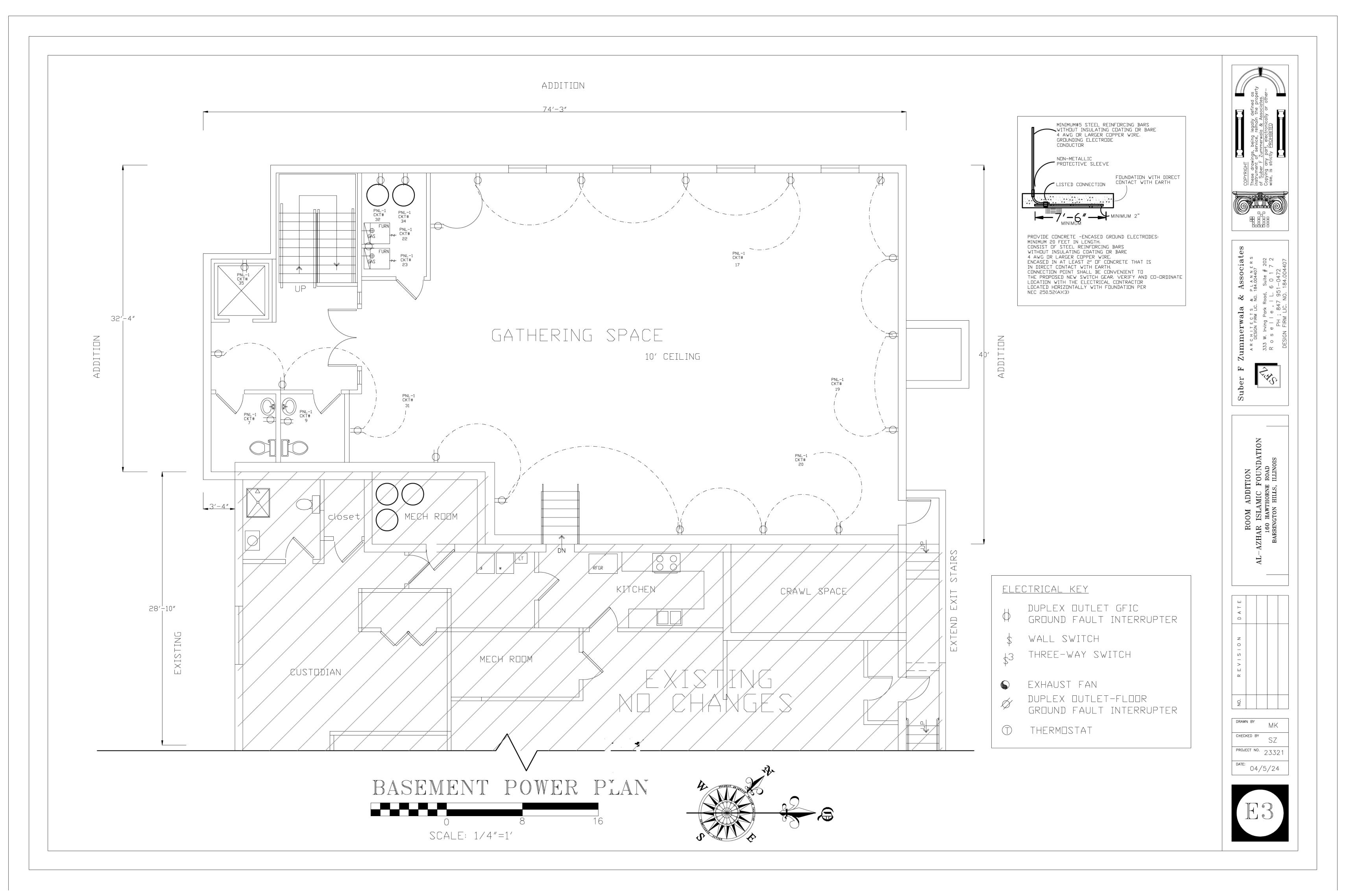
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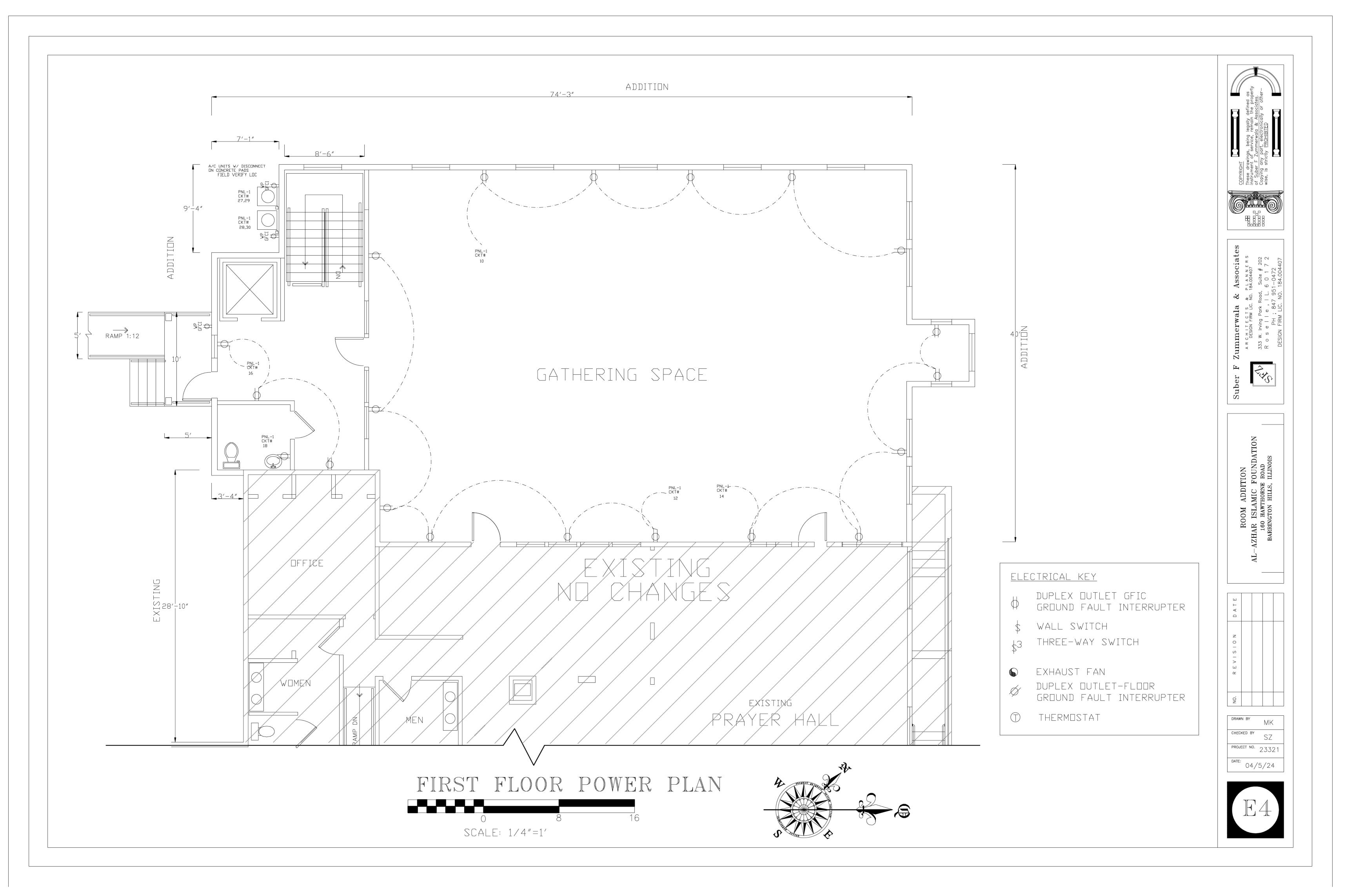


PROJECT NO. 23321









* ALL CLG FANS AND CHANDELIERS TO BE ADEQUATLY REINGFORCED WITH UL LISTED FAN BOXES.

* GARAGE TO BE ON SEPARATE CIRCUIT

GROUND ROD AT METER BANK TO BE MIN 8" UNDER SOIL. GROUNDING ELECTRODE TO BE #6 AWG COPPER WIRE FOR 200 AMP SERVICE DINING ROOM/ KITCHEN TO HAVE MIN 2 SMALL APPLIANCE CIRCUITS.

ALL 1/2 HP OR LARGER MOTORS MUST BE ON DEDICATED BRANCH CIRCUIT.

GROUNDING ELECTRODE CONDUCTOR TO RUN CONTINUOUS FROM THE NEUTRAL BUS BAR IN THE MAIN PANEL TO THE STREET SIDE OF THE WATER METER (WITHIN 5'OF ENTRY TO THE BUILDING), JUMPERED AND TAGGED. PROVIDE MIN #8 COPPER WIRE. A SUPPLEMENTAL GROUND SHALL ALSO BE INSTALLED.

INSTALL3 WAY AND 4 WAY SWITCHES AT ALL ENTRY EXIT POINTS IN ALL ROOMS AND HALLWAYS WITH MORE THAN ONE MEANS OF ENTRY. ALL BRANCH CIRCUITS THAT SUPPLY 125-V, SINGLE PHASE, 15 AND 20 AMPS RECEPTACLES DOOR BELL CHIMES IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS PER NEC, SECTION 99081 BELL BUTTOM LEVEL WITH DOOR HANDLE

EACH BATHROOMS W/ SEPARATE 20AMP CIRCUIT.

PROVIDE GFCI OUTLETS AT BATHROOMS, EXTERIOR OUTLETS, AND ANY DUTLET WITHIN 6' OF WET BAR OR SINK.

CLOSET LIGHT FIXTURES TO BE MIN 6" FROM NOSE OF SHELF FOR RECESSED AND FLUORESCENT FIXTURES AND 12" MIN FOR INCANDESCENT FIXTURES WITH SAFETY LENSE.

ALL CEILING JUNCTION BOXES TO BE APPROVED FAN TYPE BOX.

SWITCHES AND WALL OUTLETS OVER COUNTERS

ELECTRICAL DEVICES ABOVE FINISHED FLOOR

46" TO C.L. 46" TO C.L. REMAINING SWITCHES 12" TO C.L. WALL OUTLETS BATH VANITY BRACKET OUTLET (1" ABOVE TOP OF MIRROR) 1,2 80" TO C.L. WATER SOFTNER AND SUMP OUTLETS 46" TO C.L. TELEPHONE OUTLETS 12" TO C.L. TELEVISION OUTLETS 12" TO C.L. 12" TO C.L. EXTERIOR GFI'S

GARAGE GFI'S 46" TO C.L. (ABOVE GARAGE FLOOR) 46" TO C.L. BASEMENT WALL OUTLETS 72" TO C.L. FRONT DOOR COACH LIGHT

GARAGE DOOR COACH LIGHT (ABOVE GARAGE FLOOR) DINING AND BREAKFAST

FIXTURE HEIGHT

THEMOSTAT

84" TO C.L. 64" TO BOTTOM

OF FIXTURE

FOYER AND STAIRWAY FIXTURE HEIGHT 96" TO BOTTOM

> OF FIXTURE 54" TO C.L. 84" TO C.L.

> > 36" TO C.L.

KITCHEN HOOD FAN "WHIP" 66" TO C.L.

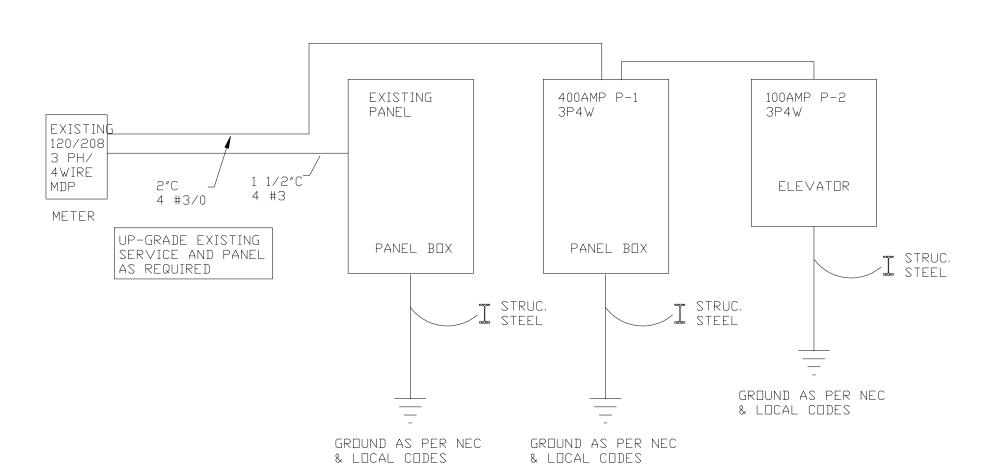
KITCHEN WALL HUNG MICROWAVE RECEPTACLE 76" TO C.L. KITCHEN DISHWASHER "WHIP" UNDER SINK 24" TO C.L. KITCHEN RANGE KITCHEN REFRIGERATOR 46" TO C.L.

WASHER/DRYER OUTLET C.L. = CENTER LINE 1 = FIELD VERIFY

2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL PLAN NOTES

ALL ELECTRICAL WORK TO COMPLY WITH NEC CODES WITH LOCAL AMENDMENTS



ELECTRICAL KEY

DUPLEX OUTLET

DUPLEX OUTLET ABOVE COUNTER

WP WEATHERPROOF DUPLEX OUTLET

GEIGROUND FAULT INTERRUPTER DUPLEX OUTLET

HALF-SWITCHED DUPLEX OUTLET

SPECIAL PURPOSE OUTLET

DIRECT WIRE "WHIP"

DUPLEX OUTLET IN FLOOR

220 VOLT OUTLET

WALL SWITCH

\$3 THREE-WAY SWITCH

\$4 FOUR-WAY SWITCH

\$R RHEOSTAT SWITCH

CEILING MOUNTED INCANDESCENT LIGHT FIXTURE

WALL MOUNTED INCANDESCENT LIGHT FIXTURE

RECESSED INCANDESCENT LIGHT FIXTURE

+PC LIGHT FIXTURE WITH PULL CHAIN

♦ TRACK LIGHT

UNDER CABINET

FLUORESCENT LIGHT FIXTURE

S EXHAUST FAN

EXHAUST FAN/LIGHT COMBINATION

ELECTRIC DOOR OPERATOR (OPT)

CHIMES (OPT)

-D PUSHBUTTON SWITCH (OPT)

SMOKE DETECTOR

HEAT DETECTOR

PHONE TELEPHONE (OPT)

TV TELEVISION (OPT)

THERMOSTAT

ELECTRIC METER

GAS METER

DISCONNECT SWITCH

ELECTRIC PANEL

SPEAKER (OPT)

ROUGH-IN FOR OPT CEILING FAN

CEILING MOUNTED INCANDESCENT

LIGHT FIXTURE W/ ROUGH-IN FOR OPT CEILING FAN

RJB REINFORCED JUNCTION BOX

(M) WATER METER READER

-O- WATER METER

PH

COMP

CBL

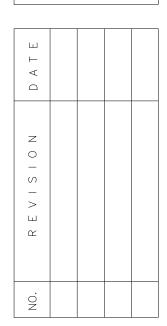
PANEL-1 MAIN MCB 400/208V 3P-4W 32 PDLE

ITEM	BRKR	CRCT	А	В	С	CRCT	BRKR	ITEM
LIGHTS	20/1	1	•			2	20/1	LIGHTS
LIGHTS	20/1	3		•		4	20/1	LIGHTS
LIGHTS	20/1	5			•	6	20/1	LIGHTS
WASHROOM	20/1	7	•			8	20/1	LIGHTS
WASHROOM	20/1	9		•		10	20/1	DUTLETS
LIGHTS	20/2	11			•	12	20/1	DUTLETS
LIGHTS	20/2	13	•			14	20/1	DUTLETS
LIGHTS	20/2	15		•		16	20/1	DUTLETS
DUTLETS	20/2	17			•	18	20/1	WASHROOM
DUTLETS	20/2	19	•			20	20/1	OUTLETS
	20/2	21		•		55	20/1	FURNACE
FURNACE	20/2	23			•	24	50/2	SUB PNL ELEVATOR
LIGHTS	20/2	25	•			26		
ACCU	30/2	27		•		28	30/2	ACCU
		29			•	30		
OUTLETS	20/2	31	•			32	20/1	SUMP
DUTLETS	20/2	33		•		34	20/1	SUMP
ELEVATOR-GFI	20/2	35			•	36	20/1	LIGHTS
LIGHTS	20/2	37	•			38	20/1	LIGHTS
LIGHTS	20/2	39		•		40	20/1	LIGHTS
SPARE	20/2	41			•	42	20/1	SPARE



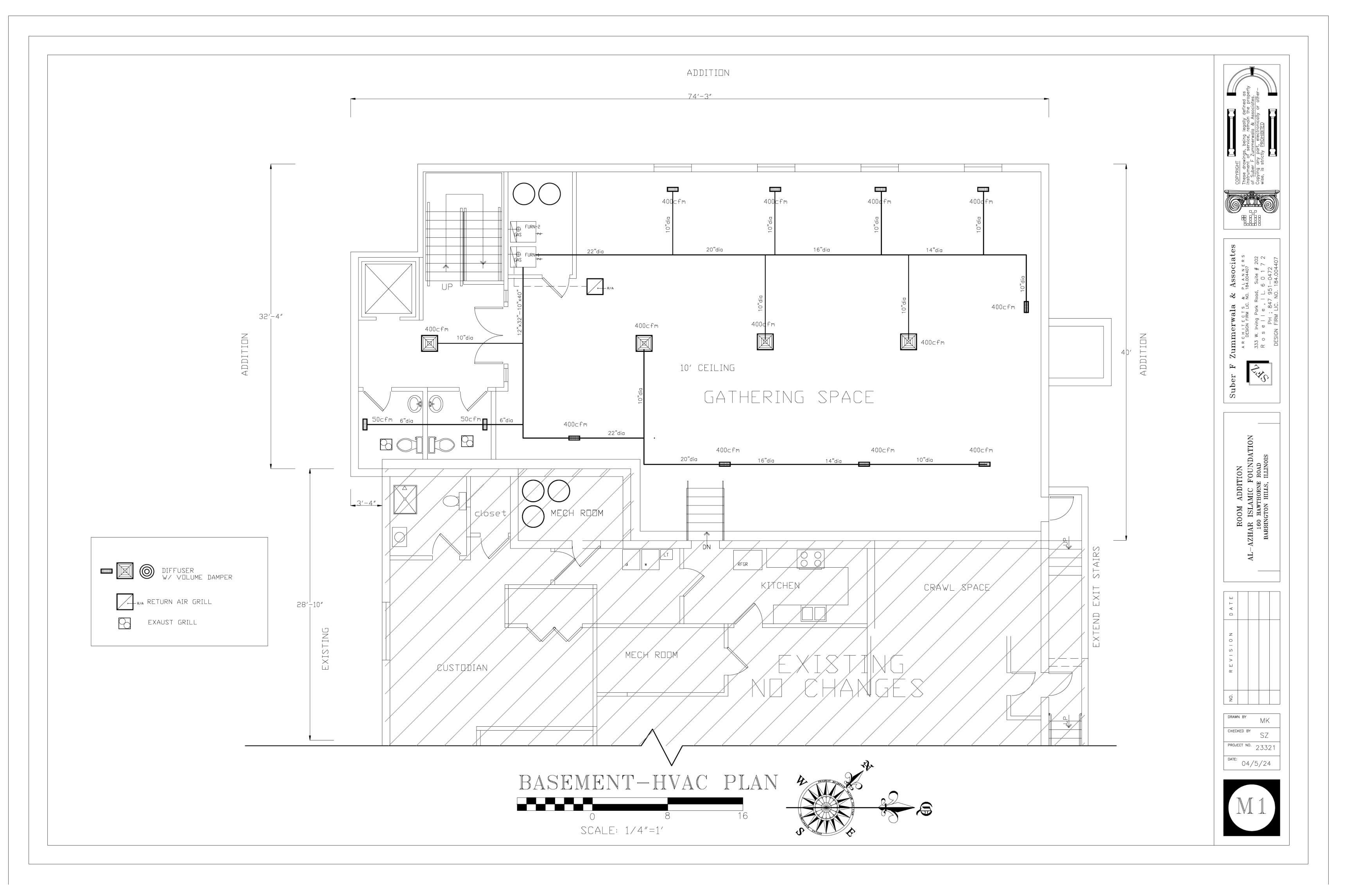


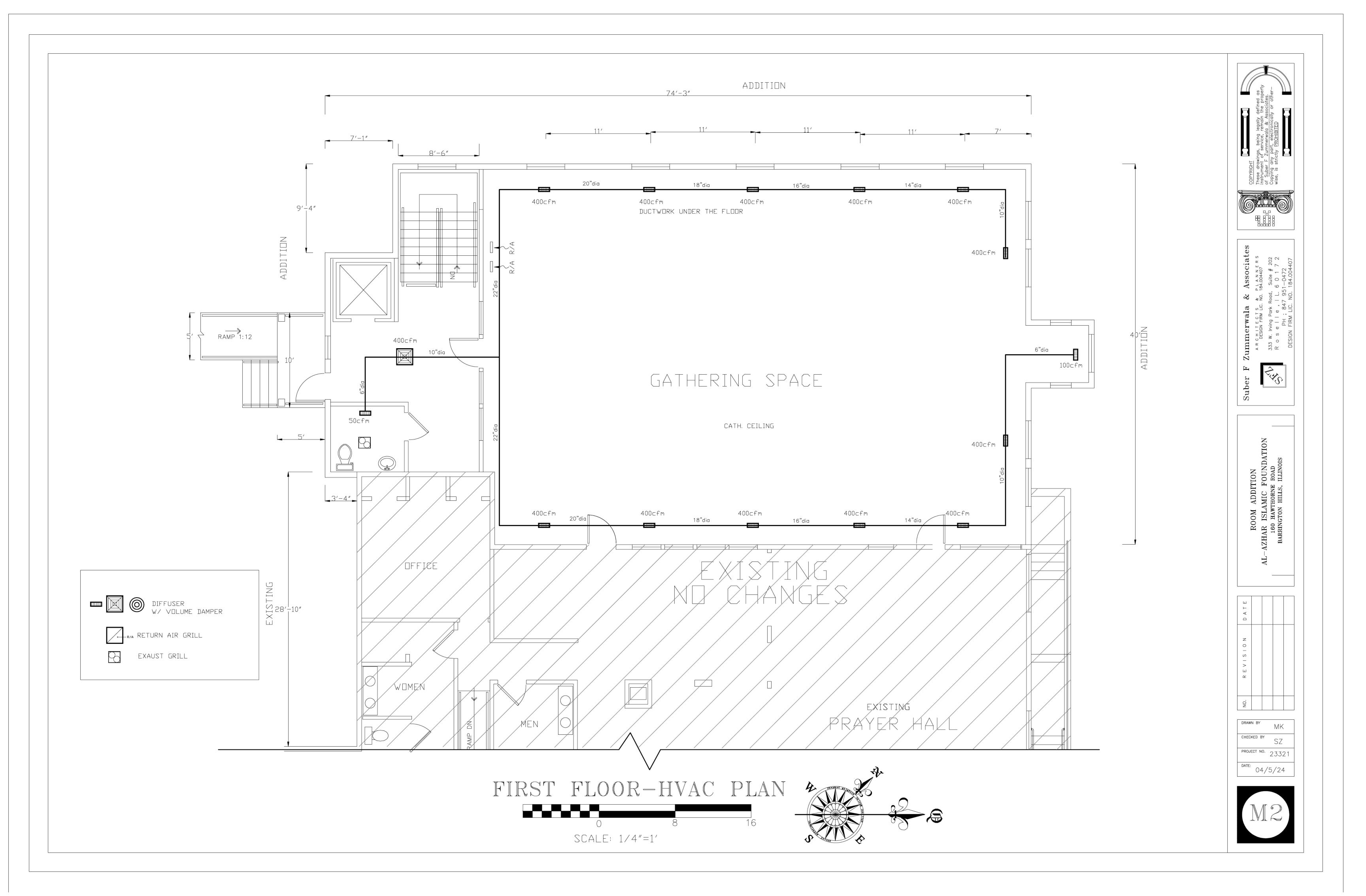
ROOM ADDITION
-AZHAR ISLAMIC FOUND
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOI



MK CHECKED BY PROJECT NO. 23321 DATE: 04/5/24







DUCTS SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING 10 FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE. FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

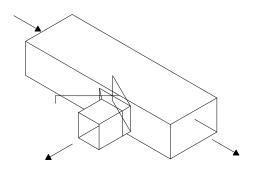
THE HVAC SYSTEM SHALL BE PROVIDED WITH AUTOMATIC CONTROLS, WHICH SETBACK THE HEAT TO 55 DEGREES AND THE COOLING TO 85 DEGREES; HAVE A SEVEN DAY CLOCK, HAVE A TWO HOUR OCCUPANT OVERRIDE AND A TEN HOUR BATTERY BACK-UP.

LONGITUDINAL SEAMS OF RIGID DUCTS AND TRAVERSE SEAMS ON ALL DUCTS SHALL BE SEALED WITH TAPES OR MASTICS IN ACCURDANCE WITH UL 181A DR UL 181B.

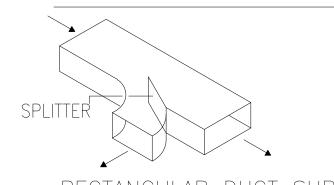
BOTH MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTWORK TO THE AIR DISTRIBUTION EQUIPMENT.

PRIOR TO FINAL INSPECTION, AN AIR BALANCE REPORT MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. THE REPORT MUST INCLUDE DUTSIDE AIR BROUGHT INTO THE BUILDING AS WELL AS THE EXHAUST AIR REMOVED FROM THE BUILDING.

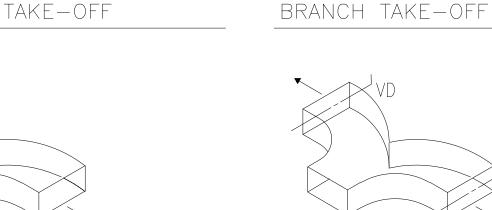
DUCT SIZES	S CHART	
AIR QUANTITY	ROUND DUCT	RECTANGLE DUC
100cfm	6"dia	8"x6"
125-175cfm	8"dia	8"x6"
200cfm	8"dia	8"x8"
225-250cfm	9"dia	8"x8"
300-350cfm	10"dia	8"x10"
400cfm	10"dia	8"x12"-10"x10"
450-500cfm	12"dia	8"x14"-10"x10"
600cfm	12"dia	8"x14"-10"x12"
700cfm	12"dia	8"x16"-10"x14"
800cfm	14"dia	8"x20"-10"x16"
900cfm	14"dia	8"x22"-10"x18"
1000cfm	16"dia	8"x24"-10"x20"
1200cfm	16"dia	8"x28"-10"x22"
1400cfm	18"dia	12"x22"-10"x26
1600cfm	18"dia	12"x24"-10"x28
1800cfm	20"dia	12"x26"-10"x32
2000cfm	20"dia	12"x28"-10"x34
2500cfm	22"dia	12"x32"-10"x40
3000cfm	24"dia	12"x38"-14"x32
3500cfm	26"dia	12"x42"-14"x38
4000cfm	28"dia	14"x44"-16"x38



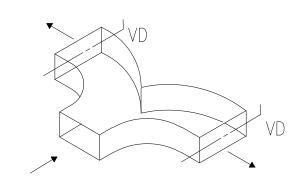
RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



RECTANGULAR SUPPLY TEE

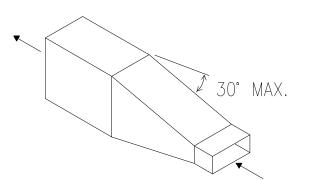


RECTANGULAR SUPPLY TEE

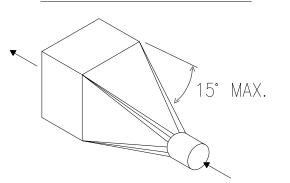
RECTANGULAR DUCT SUPPLY

RECTANGULAR DUCT SUPPLY

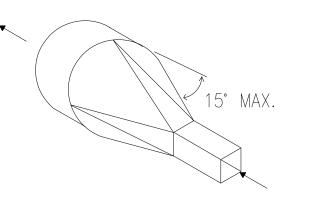
BRANCH TAKE-OFF



TRANSITION PIECE



ROUND TO RECTANGULAR



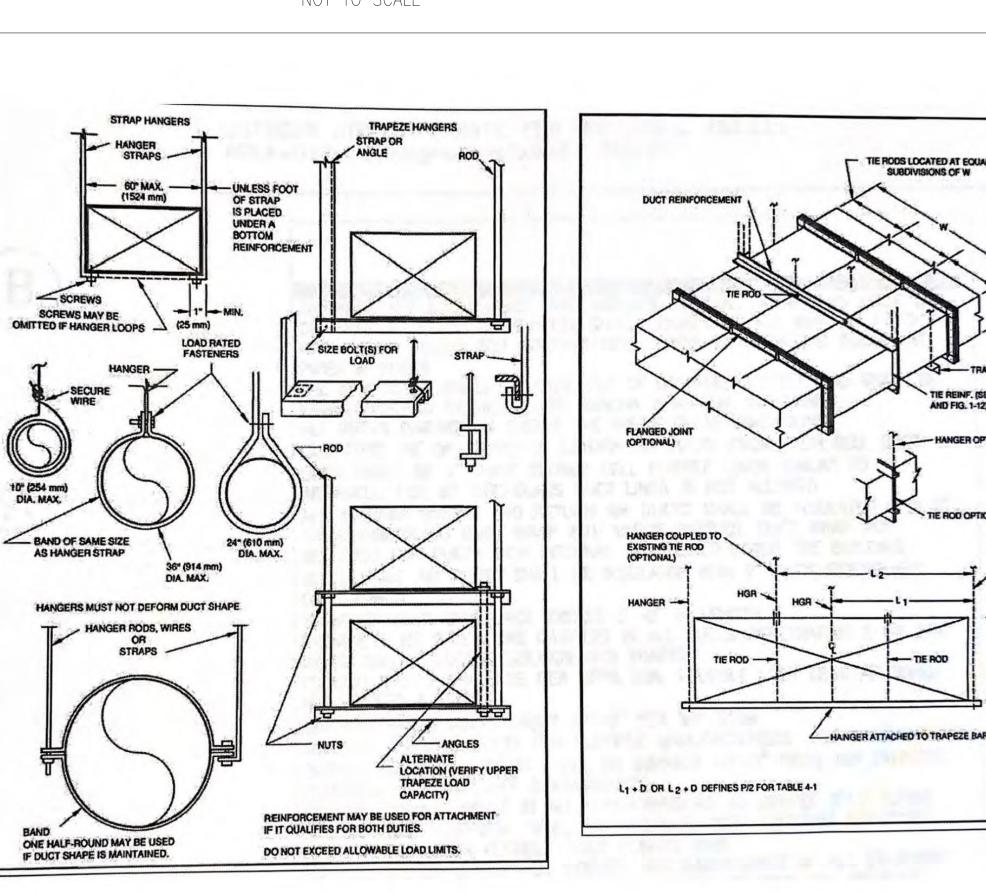
RECTANGULAR TO ROUND

VANE SCH	HEDULE
WIDTH	NO. OF VANES
< 12"	1
12"-24"	2
24"-36"	3
36"-60"	4
60"-84"	5
> 84"	6

NOTES:

- 1. PROVIDE STANDARD RADIUS ELBOWS WHEN POSSIBLETTER SHORT RADIUS WHERE REQUIRED.
- 2. ALL SHORT RADIUS ELBOWS SHALL HAVE VANES. VANES SHALL BE CONSTRUCTED, SUPPORTED & FASTENED AS RECOMMENDED BY SMACNA.
- 3. NO SQUARE OR RECTANGULAR HEEL ELBOWS SHALL BE ALLOWED.

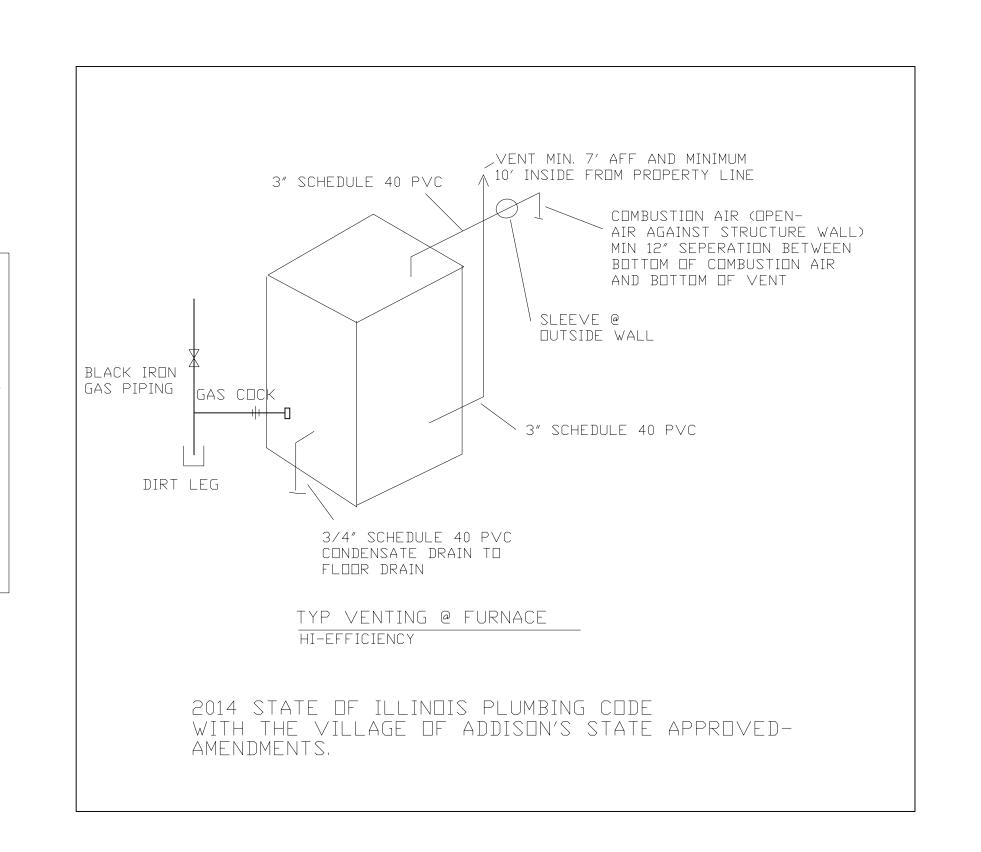
NOT TO SCALE

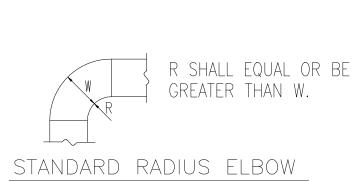


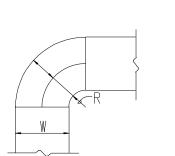


5/8" FIRECODE DRYWALL ON ALL WALLS AND CEILING, TAPED AND SANDED. 3/4" T & G PLYWOOD FLOOR W/ METAL PAN UNDER UNITS. CONDENSATE LINE TO F.D. INSULATED B LABEL DOOR W/ AUTO CLOSER AND SWITCHED LIGHT. INSULATE ALL PIPES AND DUCTS. SIDE VENTED HI-EFFICIENCY FURNACE. COMBUSTION AIR AS REQUIRED PROVIDE NON CORROSIVE SAFE PAN WITH DRAIN

FURNACE ROOM:



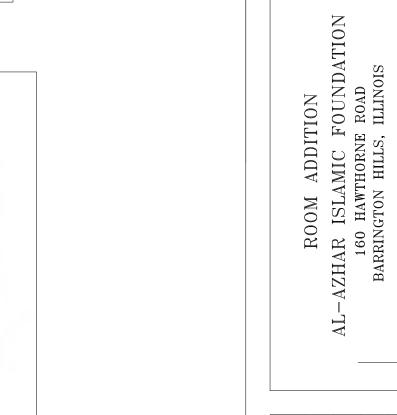


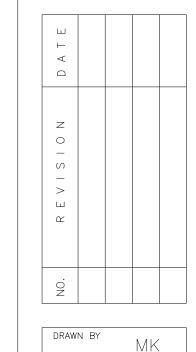


SHORT RADIUS ELBOW WITH ONE VANE(S)

- 1. IF R IS LESS THAN W, THEN FULL ARC TURNING VANE(S) SHALL BE PROVIDED, SEE SCHEDULE BELOW.
- 2. INSIDE BEND MAY BE SQUARE FOR W >> 12", NO SQUARE HEELS PERMITTED.

VANE SCH	HEDULE
WIDTH	NO. OF VANES
< 12"	1
12"-24"	2
24"-36"	3
36"-60"	4
60"-84"	5
> 84"	6





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Zummerwala & Associates

A R C H I T E C T S & P L A N N E R S

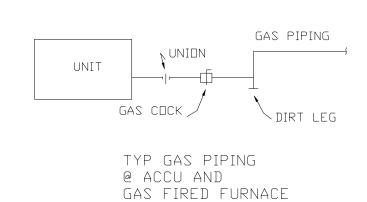
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TYP GAS PIPING

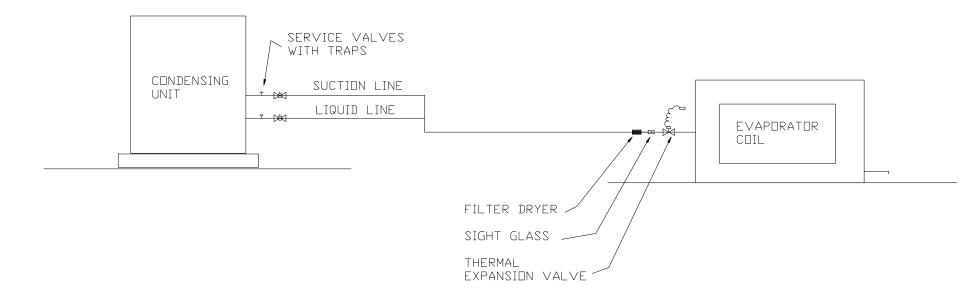
GRILLES/DIFFUSER SCHEDULE MATERIAL & FINISH NECK SIZE TYPE DAMPER REMARKS SERVICE & MODEL CEILING DIFFUSER SUPPLY OBD TITUS, TMS 24"x24" LAY-IN SEE PLAN #25 WHITE LOUVERED FACE RETURN SEE PLAN OBD TITUS, 33RL 1/2" SPACING, 38' DEFLECTION

EXAUST FAN SCHEDULE

TAG #	MANUF'R	SIZE	S.P.	H.P.	VOLT	PHASE	SONES -	FAN DA		DATA		REMARKS
1110 11	THINGI	SIZE CFM	3.1 1	11111	V 0.C 1	111111111111111111111111111111111111111	SEINES	FAN TYPE	RPM	DRIVE	LBS	KEMHKK3
EF#-1	BROAN/EQ	75 CFM	.125	1/4	120	1	4.0	CENTRIFUGAL	ı	DIRECT	50	1,2,3

1. EXTRUDED ALUMINUM LOUVERS, BACKDRAFT DAMPERS, & INSECT SCREEN. 2. INTERLOCKED WITH TOILET LIGHT SWITCH, HODDED WALLCAP, BACKDRAFT DAMPERS AND INSECT SCREEN.

3. VARIABLE SPEED OPERATING SWITCH.



TYP REFR PIPING

AIR COOLED CONDENSING UNIT $(\Lambda CCII)$

	(ACCU)												
				CDDLI	NG CAP.		ELECT	RICAL					
TAG #	MANUFR	MODEL	TOTAL MBH	SENS. MBH	AMB. DEG F	REFR TYPE	MCA	VOLT/ PHASE	REMARKS				
ACCU-1	CARRIER	38BRC060	60.0	44.0	95F	R-22	27	208/3	SIZED W/ COOLING COIL CC5-AXA-060-024				
ACCU-2	CARRIER	38BRC060	60.0	44.0	95F	R-22	27	208/3	SIZED W/ COOLING COIL CC5-AXA-060-024				

REFRIGERATION SCHEDULE

TAG AND UNIT#	TYPE	NO. COMP	COOLING CAPACITY	CAP/COMP	HP/COMP	REFRIGERANT TYPE	REFR CHARGE LBS	REMOTE	LOCATION	AIRCOOLED	WATERCOOLED	SPECIAL
ACCU-1	SELF CONTAINED	2	10.0 TON	2.5/COMP	2.5/CDMP	R-22	20 LBS	REMOTE	GRADE	AIRCOOLED		
ACCU-2	SELF CONTAINED	2	10.0 TON	2.5/COMP	2.5/COMP	R-22	SO TB2	REMOTE	GRADE	AIRCOOLED		

TAG AND UNIT#	MANUFACT'R	HP	CFM	WT LBS	S.P.	GAS INPUT MBH	GAS DUTPUT MBH	REMARKS/ NOTES
FURN-1	CARRIER	3/4	3000	210	0.5	140MBH	120MBH	6″ FLUE
FURN-2	CARRIER	3/4	3000	210	0.5	140MBH	120MBH	6″ FLUE

1. CONDENSATE DRAIN PIPING FROM EVAPORATIVE COILS SHALL BE

SCHEDULE 40 PVC AND SHALL TERMINATE TO FLOOR DRAIN. 2. EVAPORATIVE COIL SHALL BE PROVIDED WITH MANUFACTURER'S STANDARD CABINET.

3. EACH FURNACE SHALL BE PROVIDED WITH RETURN AIR CABINET.

4. PROVIDE MIN. 4" CONCRETE EQUIPMENT BASE.

5. PROVIDE ELECTRICAL CONNECTION AND POWER AS PER MANUFACT'R.

6. FURNISH AUTO FEED HUMIDIFIER W/ EACH FURNACE-GENERAL 800 HUMIDIFIER AND WHITE ROGERS THERMOSTATE FOR EACH FURNACE

ALL DUTSIDE AIR INTAKES SHALL BE INSTALLED MINIMUM 15' FROM ANY EXHAUST AIR, VENT OR FLUE.

NOISE LEVEL AT THE PROPERTY LINE SHALL NOT EXCEED 55 DECIBLES (55db),

INSTALL A SAFETY VALVE DIRECTLY INTO HIGH PRESSURE SIDE OF THE REFERIGERATION SYSTEM, UPSTREAM OF ANY LIQUID LINE OR STOP VALVE AND SET @ 450 PSI AS PER CHICAGO MECHANICAL CODES. RELOCATE EXPANSION VALVE OUT OF AIR STREAM.

INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.

REMOVE ALL EXPANSION VALVES, DEVICES, & CONNECTIONS FROM AIR STREAM. REFRIGERATION PIPING TO BE COPPER TYPE "K".

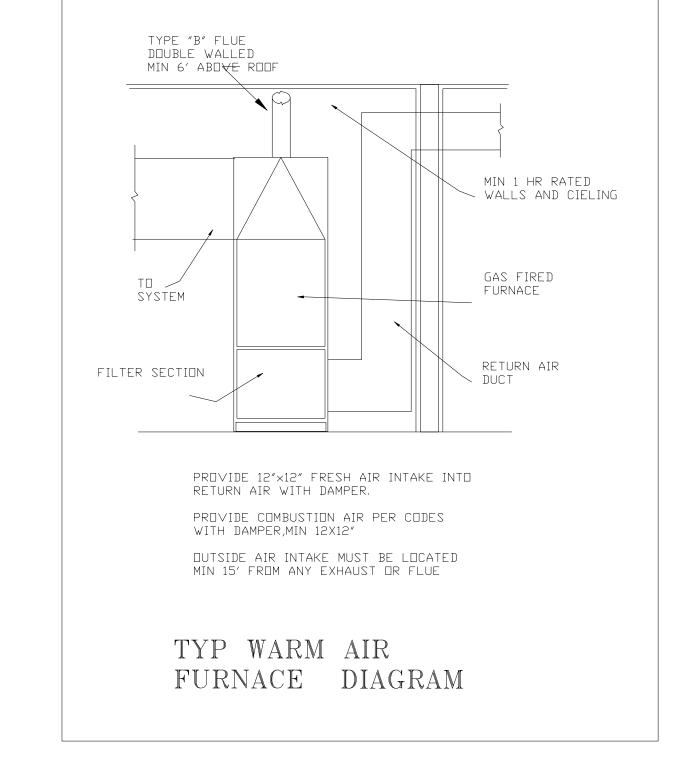
ALL CONNECTIONS AND DEVICES TO BE BRAZED.

PIPING SHOWN FOR REFERANCE ONLY, PROVIDE ALL TRAPS ETC AS REQUIRED PER MANUFACTURERS RECOMMENDATIONS, SIZES AS PER MANUF'R.

GAS WARM AIR FURNACE SCHEDULE

	1		ı	I		I		
TAG AND UNIT#	MANUFACT'R	HP	CFM	WT LBS	S.P.	GAS INPUT MBH	GAS DUTPUT MBH	REMARKS/ NOTES
FURN-1	CARRIER	3/4	3000	210	0,5	140MBH	120MBH	6″ FLUE
FURN-2	CARRIER	3/4	3000	210	0.5	140MBH	120MBH	6″ FLUE

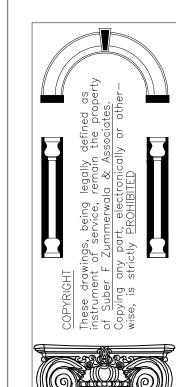
WASHRM

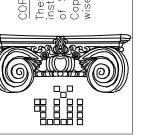


2000 | FURN-2 | 75 CFM EXH.

	FLOOR		NATURAL \	/ENTILATION		MECHANICAL	HEAT			
ROOM NAME	AREA SQ.FT	ORDINANCE	REQUIREMENT	PLAN REQ	UIREMENT	ORDINANCE REQUIREMENT	PLAN REQUIREMENT	LOSS BTU/HR		REMARK:
<u>-</u>	J 04.1 1	LIGHT (SQ. FT)	VENT(SQ. FT)	LIGHT (SQ. FT)	VENT(SQ. FT)	SUPPLY (CFM)	SUPPLY (CFM)]		
GATHERING SPACE	2000	160.0	80.0	96.0	96.0	5200	5200	80000	FURN-1	
WASHRM	50	-	_	_	-	50	50	2000	FURN-1	75 CFM EX
WASHRM	50	_	-			50	50	2000	FURN-1	75 CFM EX
UTILITY RM	50	_	_	_	_		-	2000	FURN-1	
LOBBY	155	-	-	44.0	24.0	200	400	6200	FURN-1	
GATHERING SPACE	2300	184.0	92.0	220.0	180.0	5200	4900	92000	FURN-2	
LOBBY	230	_	_	_	_	200	400	9200	FURN-2	

50 - - - -





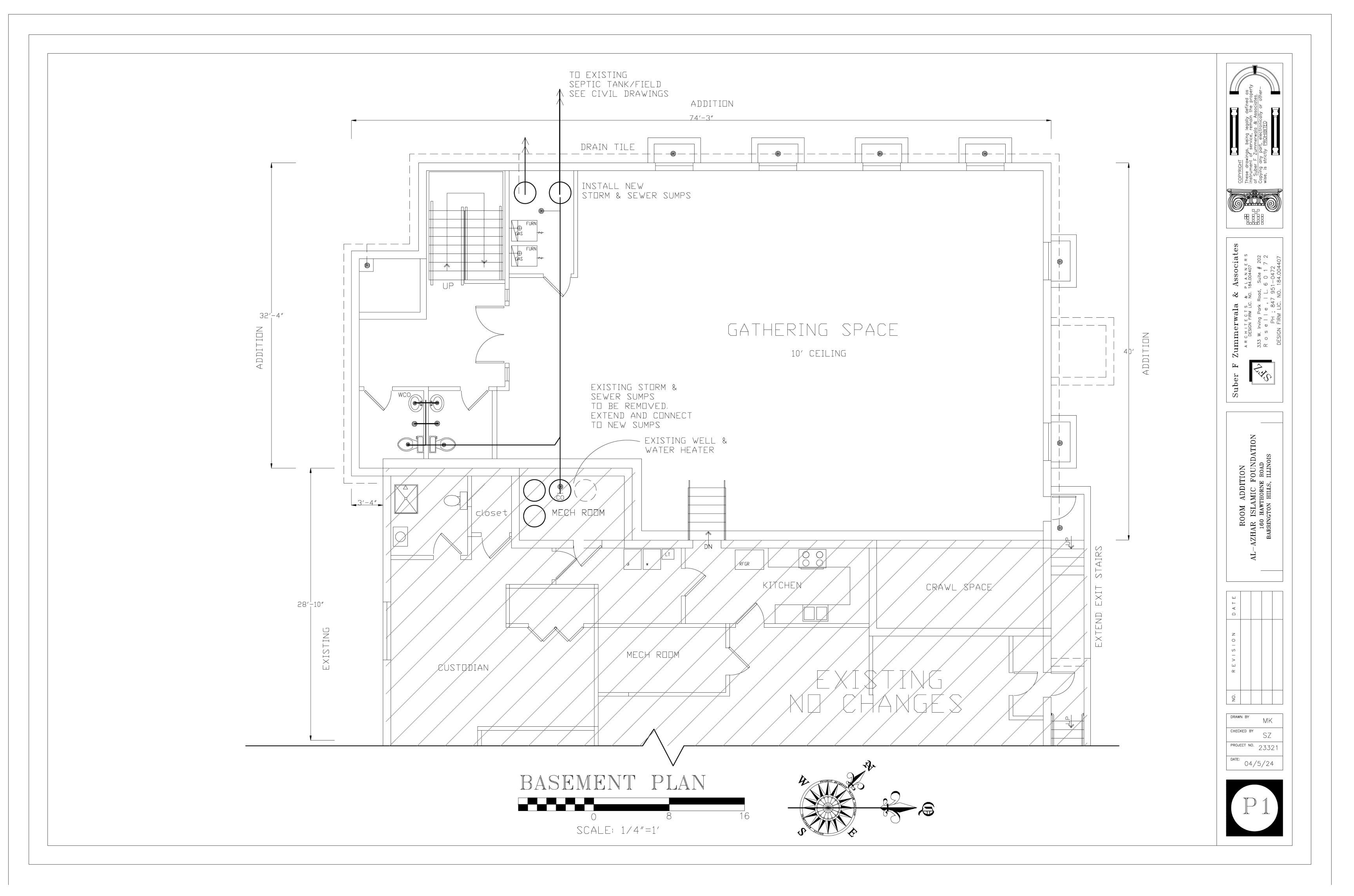
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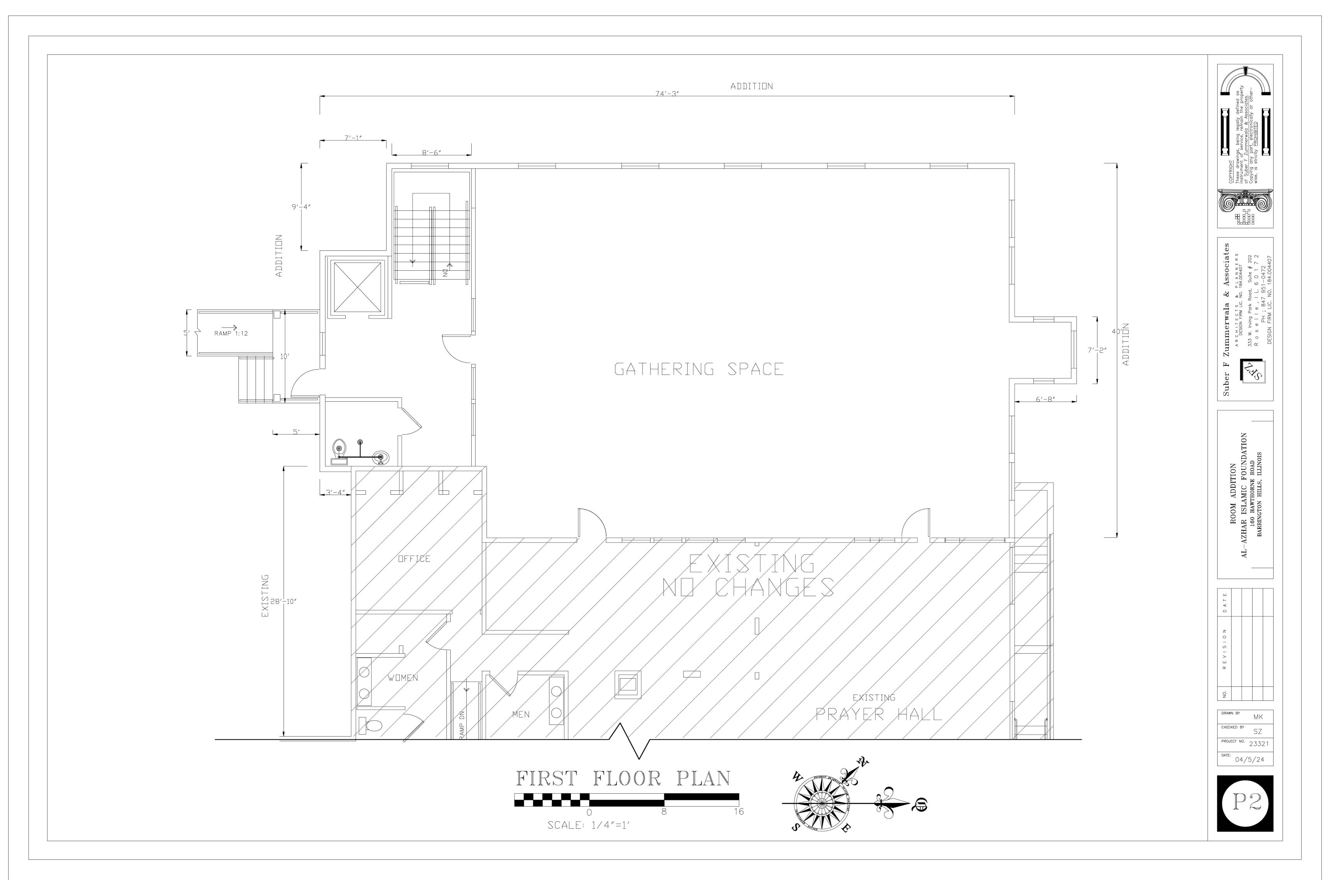
-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

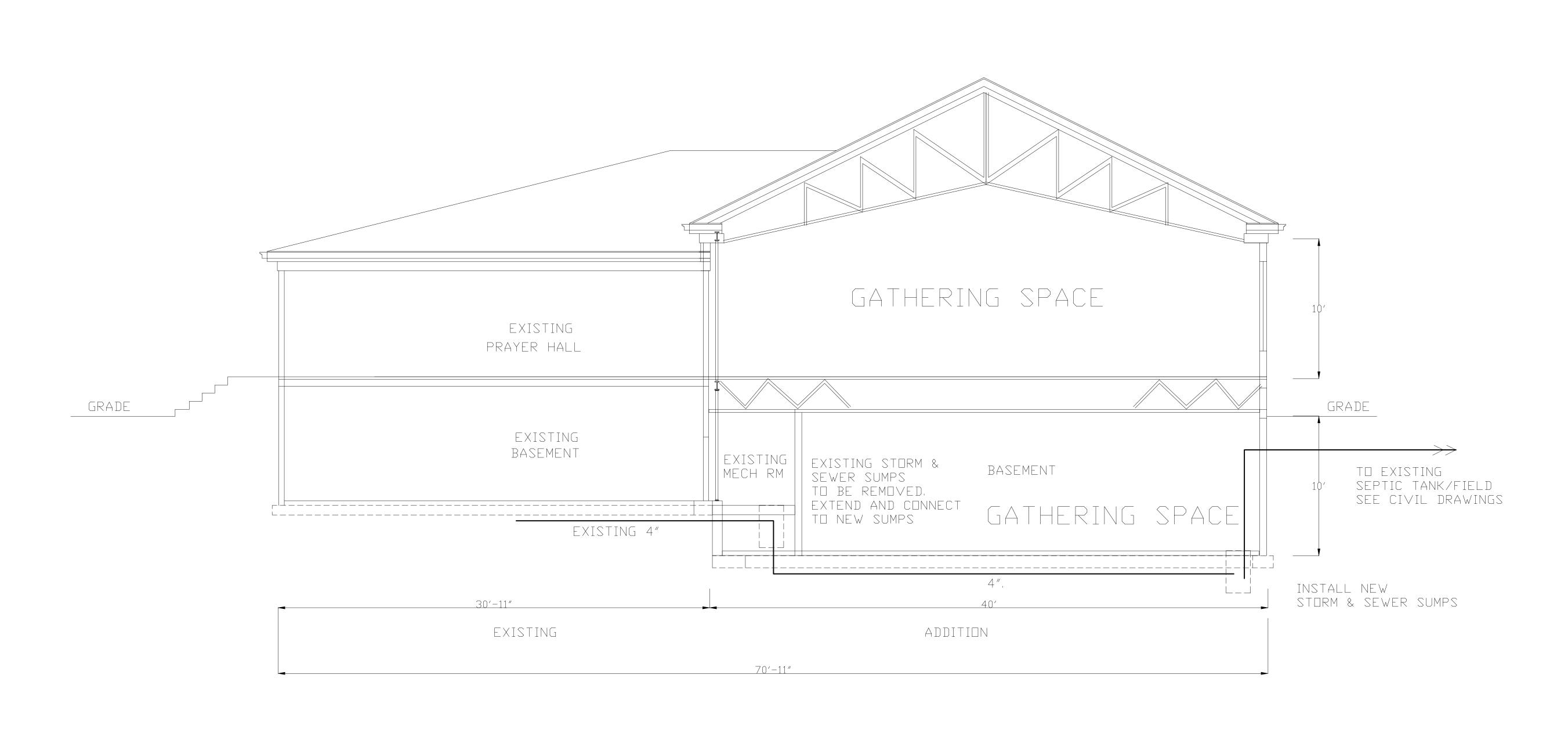
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DATE: 04/	5/24



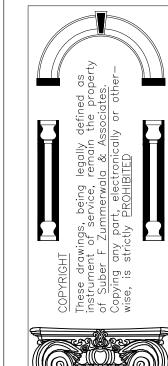


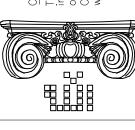




SECTIONAL VIEW

SCALE: 1/4"=1'





Suite # 202 6 0 1 7 2 1-0472 184.004407

Y ummerwala & Associa

Architects & Planner

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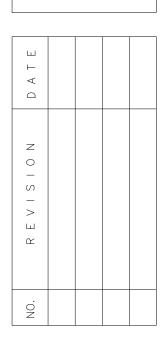
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160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS



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PROJECT NO. 23321

DATE: 04/5/24



PLUMBING NOTES

- 1. ALL PLUMBING WORK TO MEET 2014 ILLINOIS PLUMBING CODE
- 2. ALL SUPPLY PIPING TO BE COPPER TYPE 'K' FOR BELOW GROUND AND TYPE 'L' FOR ABOVE GROUND.
- 3. PROVIDE SHUT OFF VALVES TO ALL FIXTURES.
- 4. PROVIDE 12" AIR CHAMBERS TO ALL FIXTURES AND 24" TO ALL RISERS.
- 5. ALL BELOW GRADE WASTE PIPING TO BE 4" SCHEDULE 40 PVC.
- 6. ALL FLOOR DRAINS TO BE VENTED.
- 7. WATER SUPPLY AND WASTE PIPES SHALL NOT BE Installed in exterior walls, keep supply lines on warm side of exterior walls,

8.THESE DIAGRAMES ARE SCHEMATIC ONLY AND DO NOT SHOW ALL RUNS AND BENDS.

ALL PLUMBING PIPES TO BE PROTECTED FROM FREEZING IN ALL UN-CONDITIONED SPACES

ALL NEW PLUMBING FIXTURES AND FAUCETS SHALL BE "WATER SENSE" COMPLIANT,
CENTERLINE OF TOILETS SHALL BE A MINIMUM OF 15 INCHES FROM ANY WALL, FIXTURE OR CABINET.

NEW WATER PIPING SHALL BE INSULATED ACCORDING TO THE 2015 ILLINGIS ENERGY CONSERVATION CODE.

ALL PLUMBING WORK TO BE PERFORMED BY A LICENSED PLUMBER.

ALL PLUMBING WORK SHALL COMPLY WITH THE STATE OF ILLINOIS PLUMBING CODE REQUIREMENTS.

REMOVE ALL EXISTING NON-USED PLUMBING WASTE AND VENT PIPES.

ALL NEW PLUMBING FIXTURES INSTALLED SHALL BEAR THE "WATERSENSE" LABEL.

PLUMBING PIPING IS NOT PERMITTED IN AN OUTSIDE WALL OR IN ATTIC, EXCEPT VENT PIPING.

OWNER SHALL ADHERE TO THE ILLINDIS PLUMBING LICENSE LAW AND SIGNED DUPAGE COUNTY AFFIDAVIT. FAILURE TO STRICTLY ADHERE TO OR MISREPRESENTED, THE PERMIT WILL IMMEDIATELY RESCINDED.

ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE REGISTERED WITH THE DUPAGE COUNTY PRIOR TO THE START OF THE PROJECT PER DC-0003A-07.

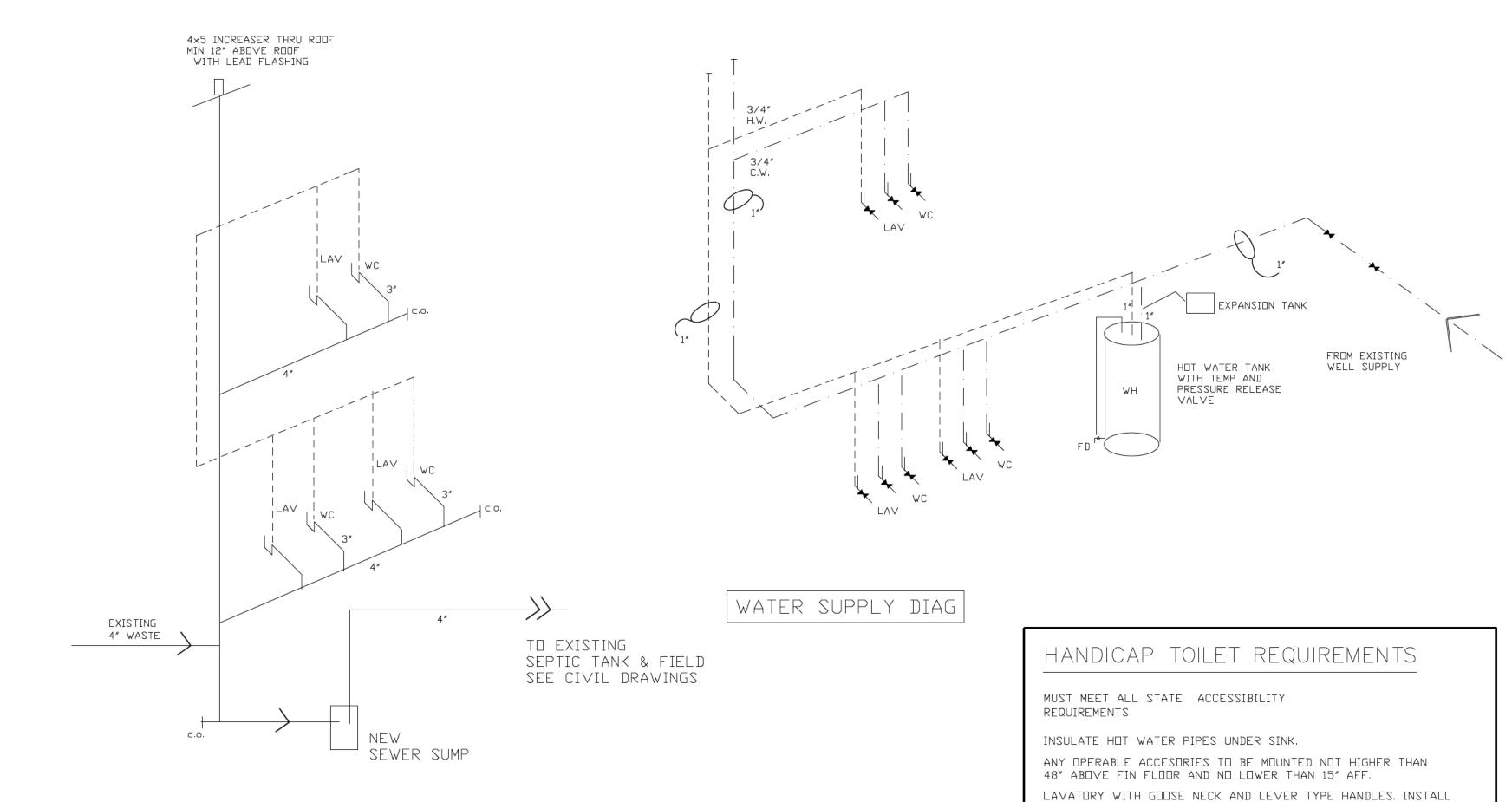
PIPING DIAGRAMS ARE TO BE USED FOR GENERAL REFERENCE ONLY,
NOT FOR SIZING SYSTEMS, ALL PIPING SHALL BE SIZED PER
DFU(DRAINAGE FIXTURE UNITS) AND WSFU(WATER SUPPLY FIXTURE UNITS)
REQUIREMENTS.

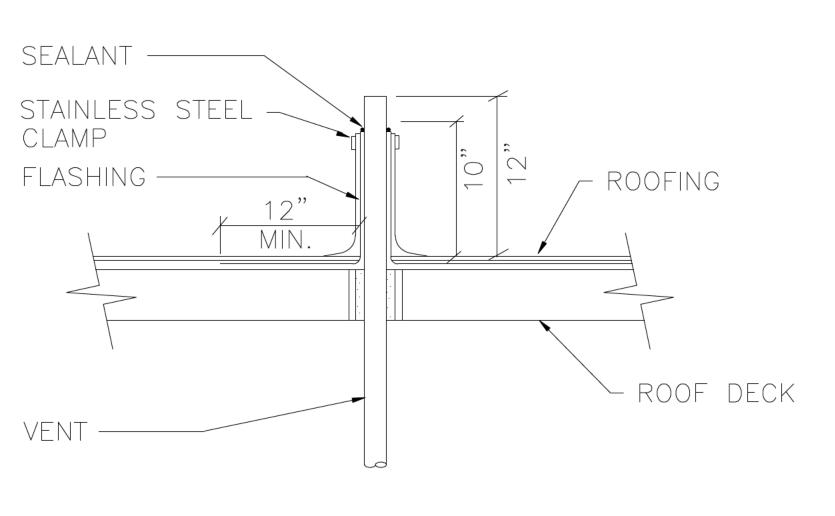
VENTS/VENTING TO BE SIZED PER DFU REQUIREMENTS, INCLUDING SANITARY EJECTOR (890.1580e) WITH NO MORE THAN 20% OF MAXIMUM DEVELOPED LENGTH INSTALLED IN THE HORIZONTAL POSITION.

NO WATER PIPING SHALL BE INSTALLED IN ANY EXTERIOR WALL, GARAGE WALL, ATTIC OR OTHER UNCONDITIONAL SPACES OR CHASE UNLESS INSTALLED IN A SEPARATE ISOLATED SECONDARY WALL OR CHASE. INSULATION ALONE SHALL NOT BE USED FOR ISOLATION OF WATER PIPING.

PLUMBING FIXTURES, EQUIPMENT, APPLIANCES, APPURTENANCES AND DEVICES PER 890.210 FOR COMPLIANCE WITH APPLICABLE STANDARDS, LISTINGS AND LABELING BY APPROVED AGENCY ONLY. (890.APPENDIX-A/890., TABLE A)

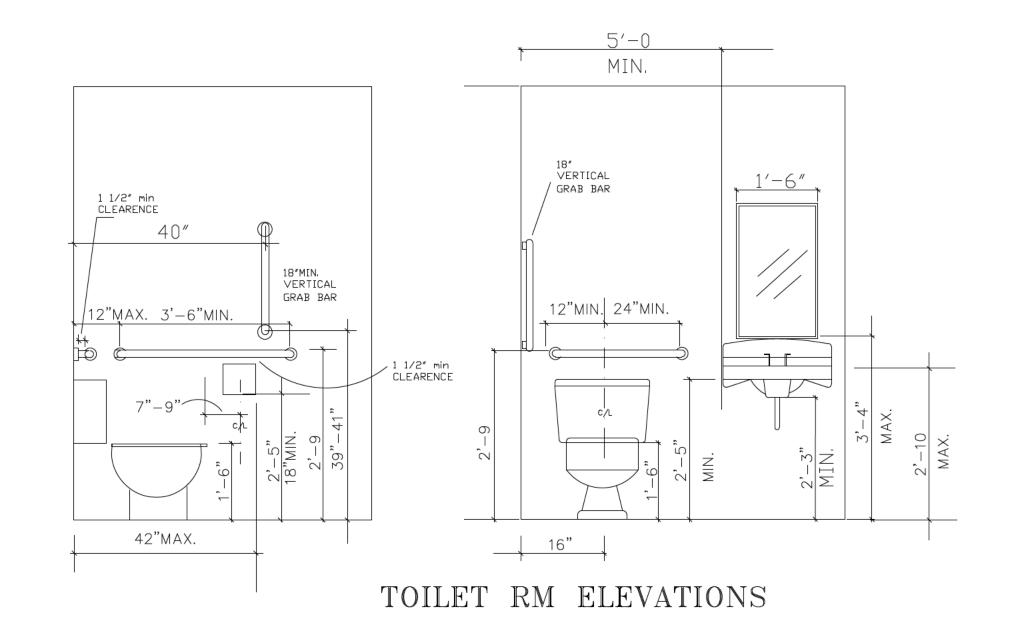
FLOOR DRAINS(FD),HUB-DRAINS(HD) AND OPEN-SITE DRAINS SHALL BE PROPERLY SIZED TO ACCEPT ALL INDIRECT WASTE PIPING.





SAN RISER DIAG





EXCEED 110 DEGREE F.

MAXIMUM DEPTH OF ALL ACCECIBLE SINKS AND LAVATORIES TO BE

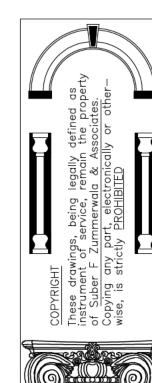
SIX AND ONE-HALF (6 ½") INCHES.

NON SCALDING VALVE ON FAUSET WITH WATER TEMPERATURE NOT TO

MIN 1 1/2" CLEARENCE FOR HANDRAILS BETWEEN WALL AND RAIL

THRESHOLD AT THE DOOR TO BE MAX 1/2" HIGH, ANY LEVEL CHANGE IN FLOORS TO BE SLOPED AT NO GREATER THAN 1 IN 12.

GRAB BARS TO WITHSTAND MIN 300LBS STATIC WEIGHT FOR A PERIOD OF 5 MINUES, WITH FULL RECOVERY.





Immerwala & Associates
CHITECTS & PLANNERS
BESIGN FIRM LIC. NO. 184.004407
W. Irving Park Road, Suite # 202
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PH; 847 951-0472

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ORNE ROAD

ROOM AAZHAR ISLAN 160 HAWTE

NO. R E V I S I O N D A T E

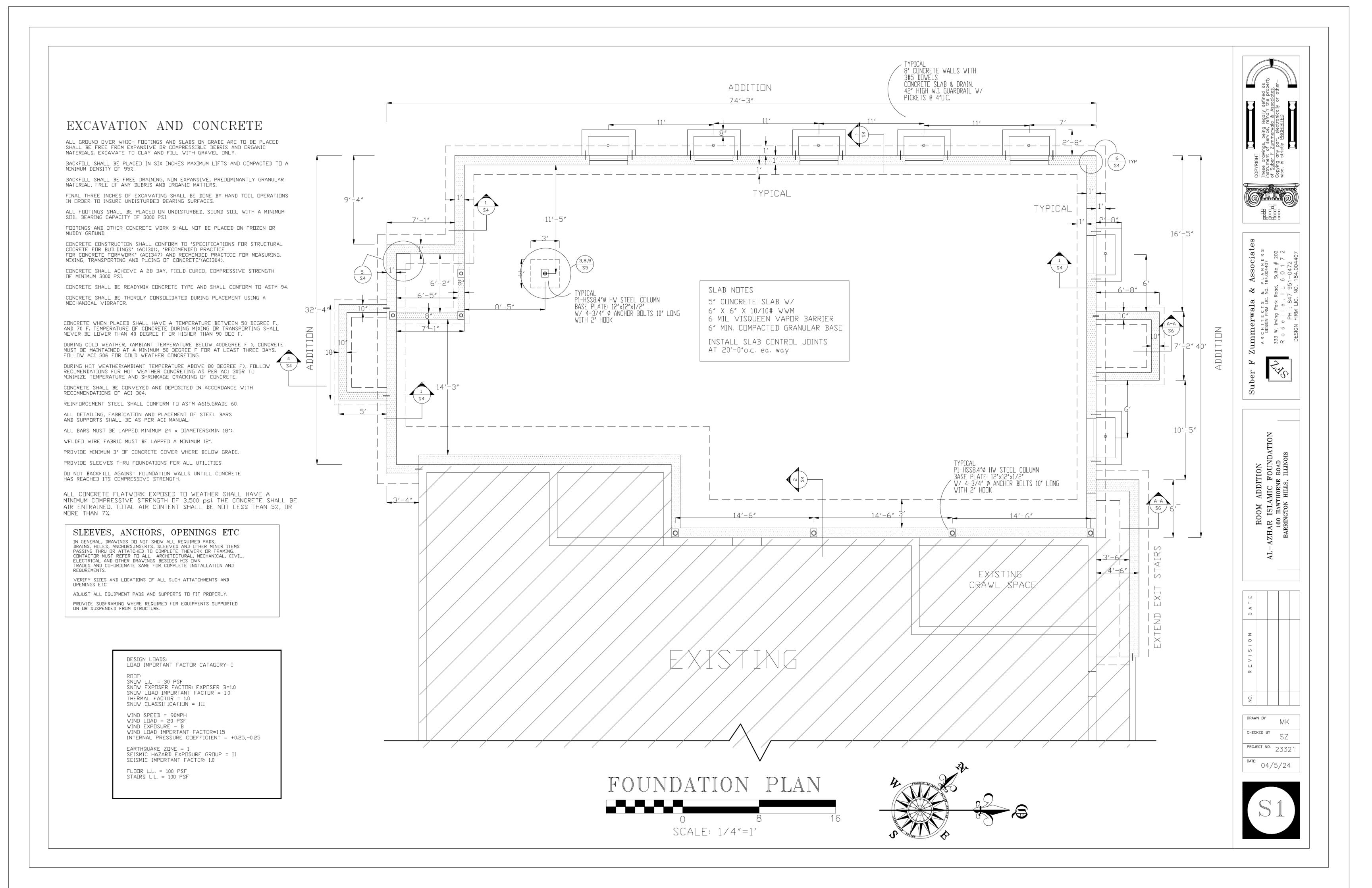
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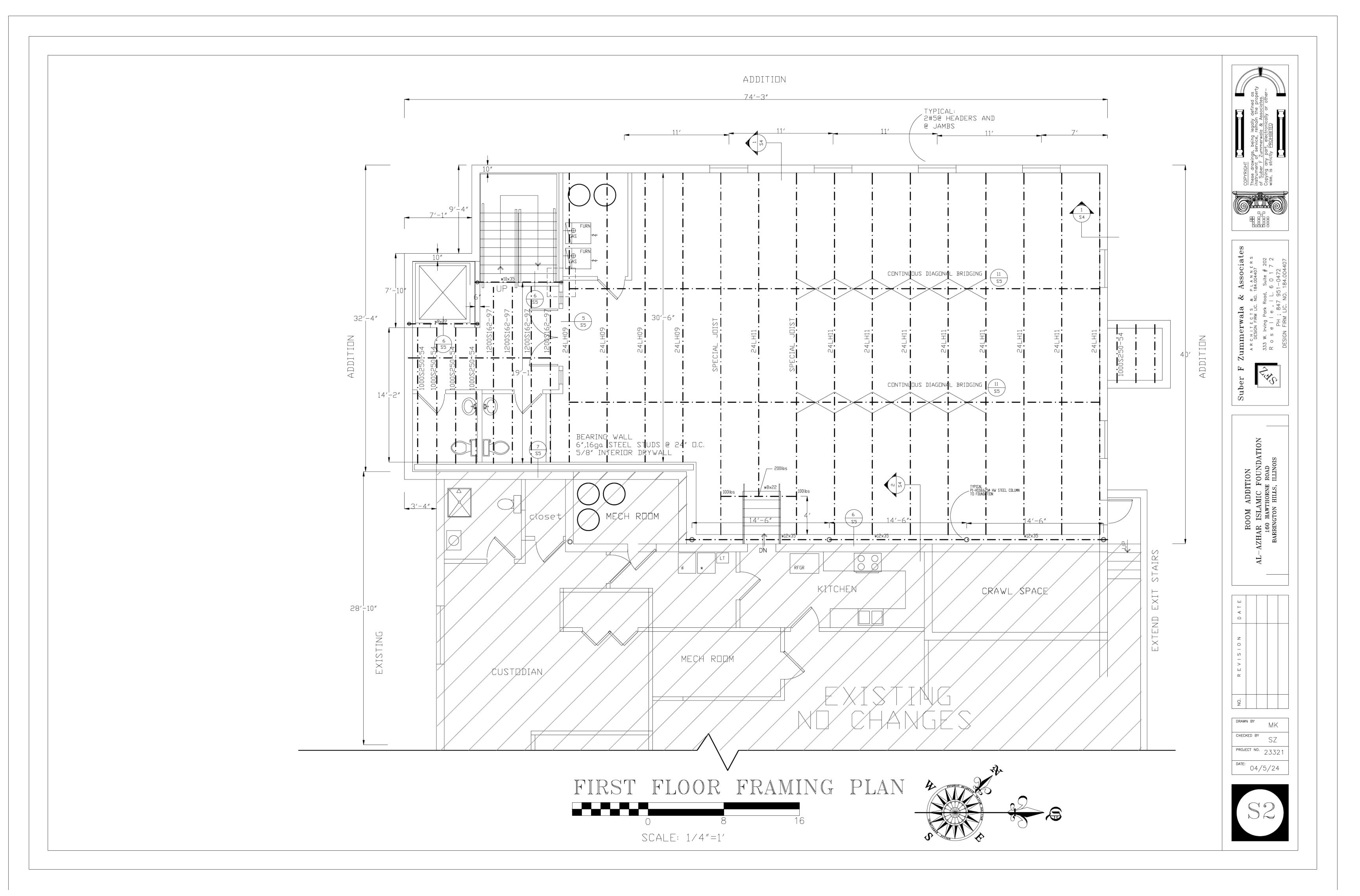
PROJECT NO. 23321

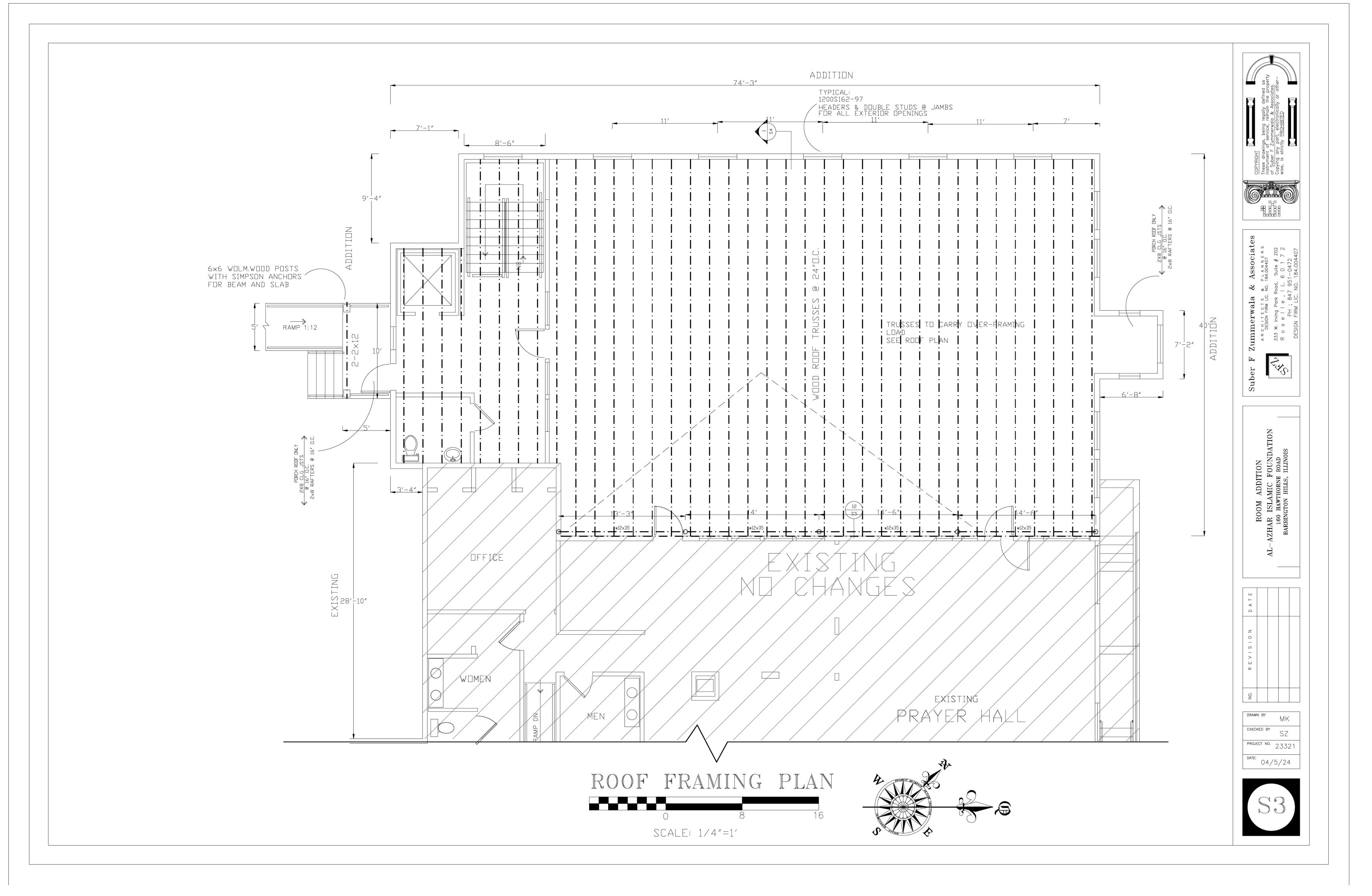
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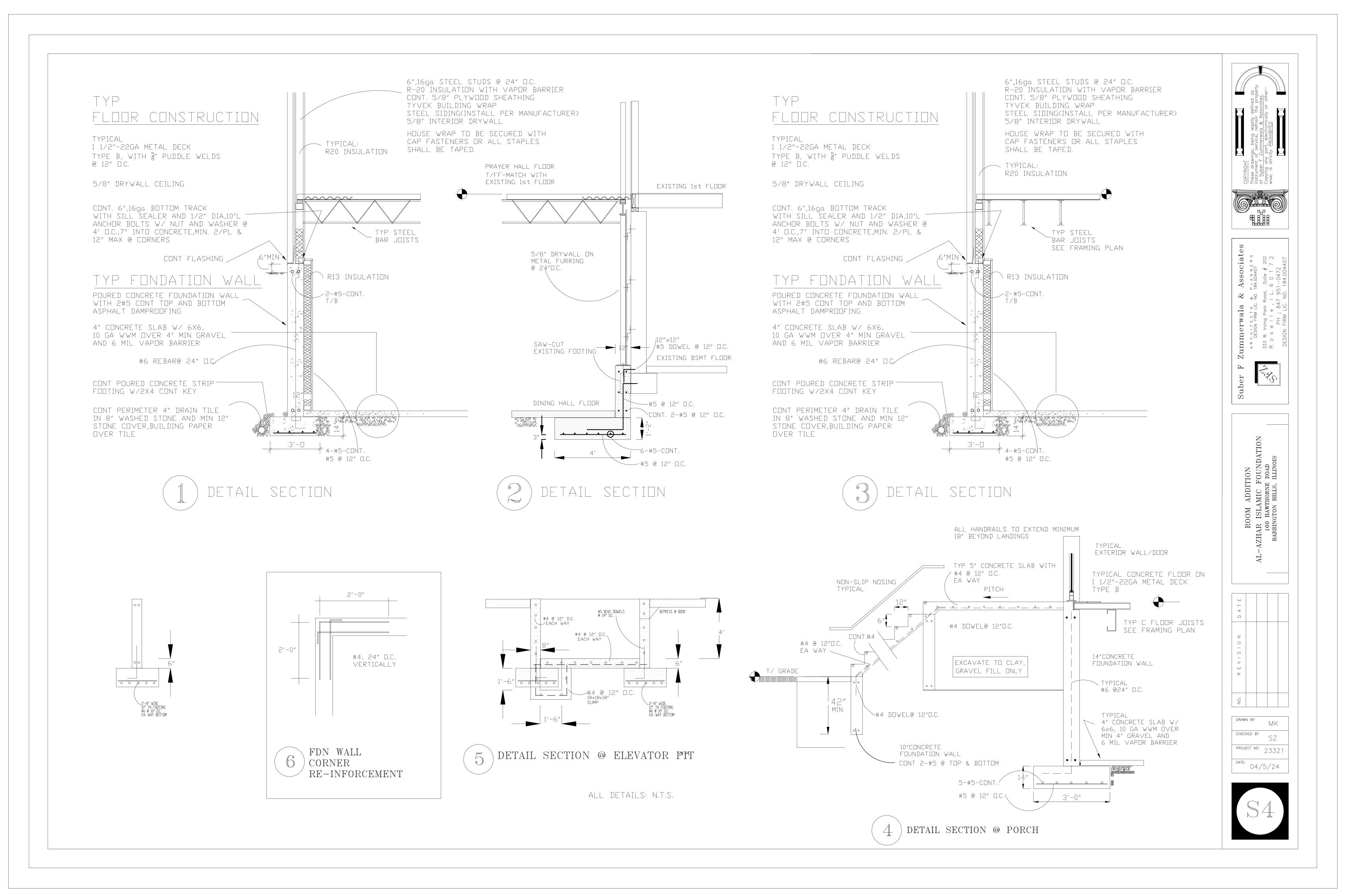
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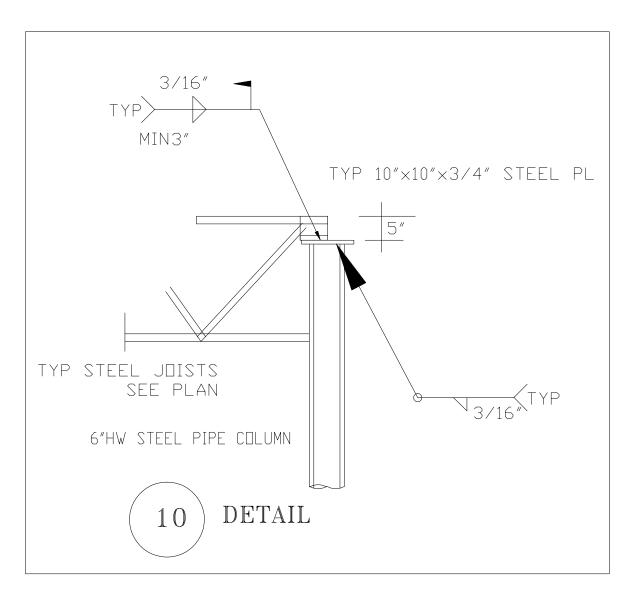


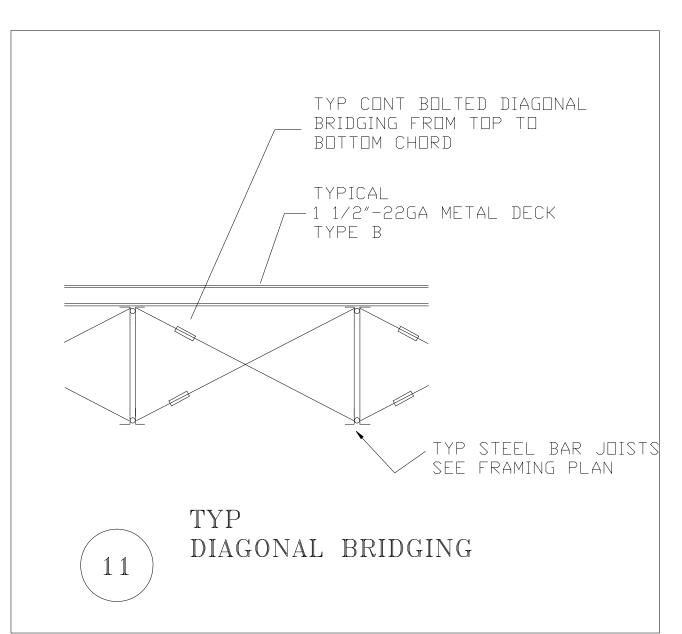


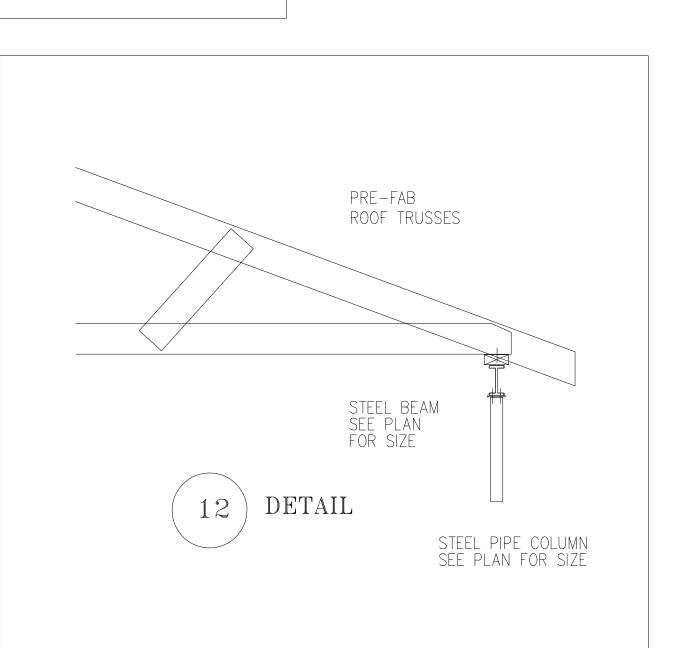


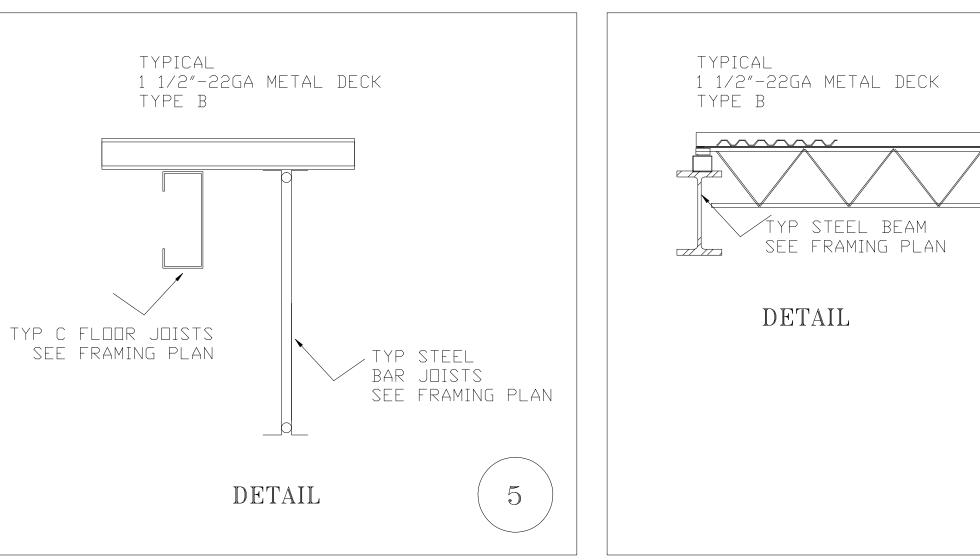


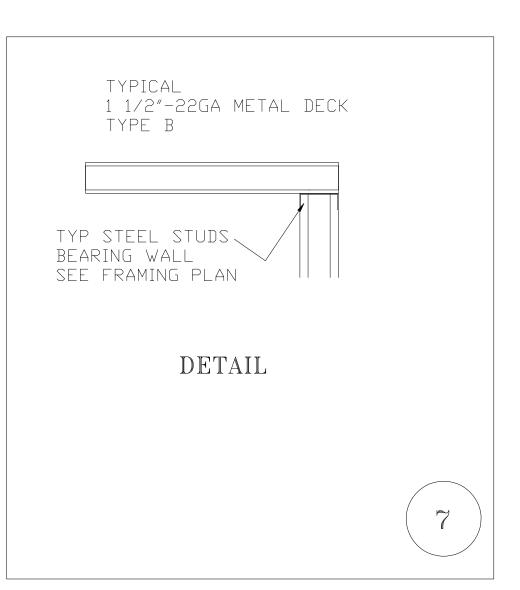


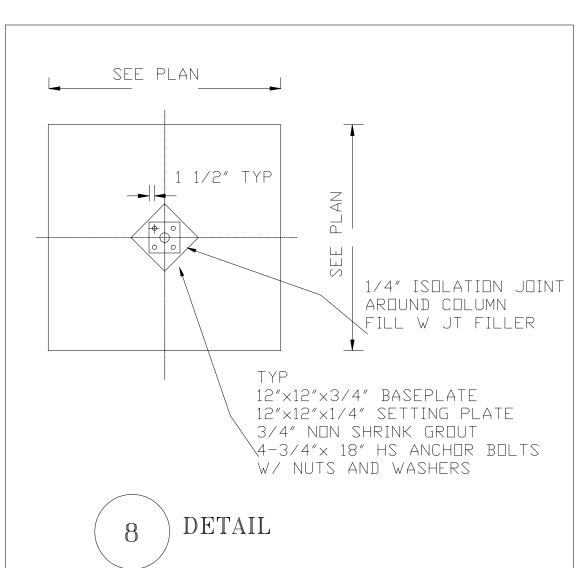


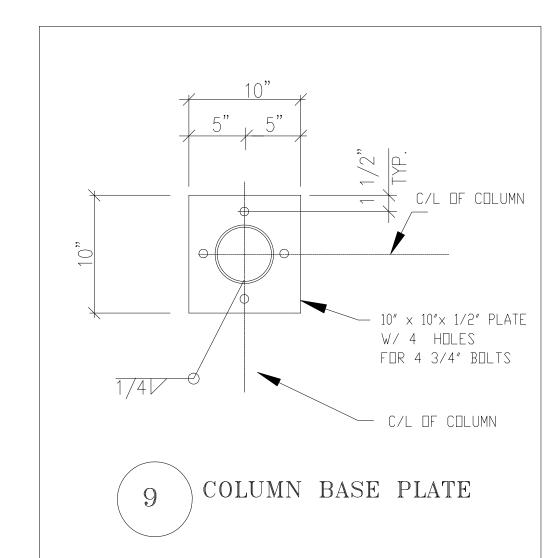


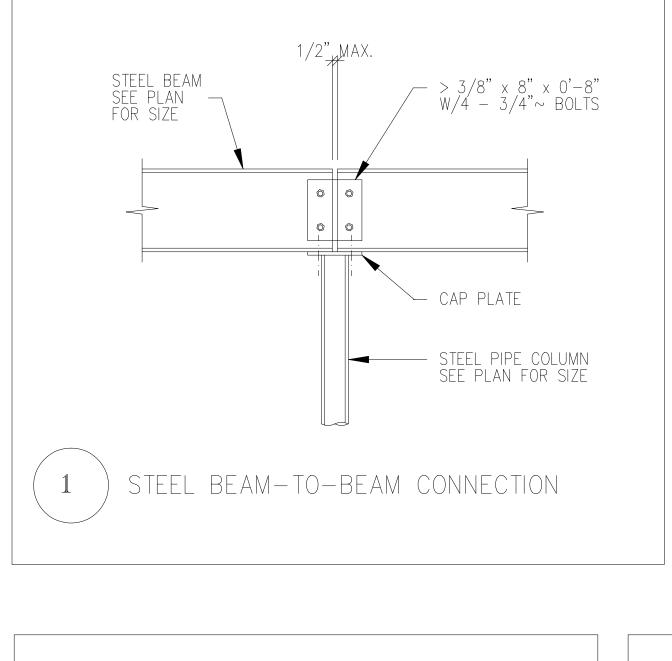


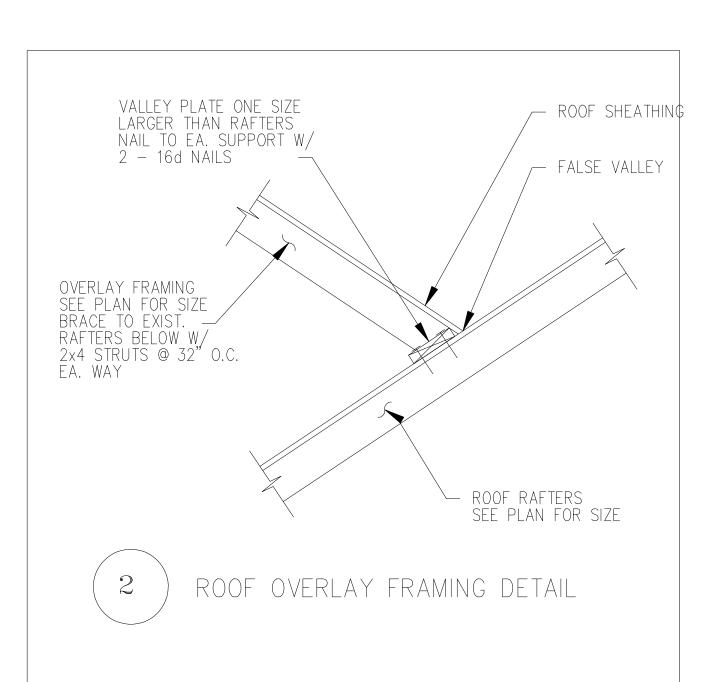


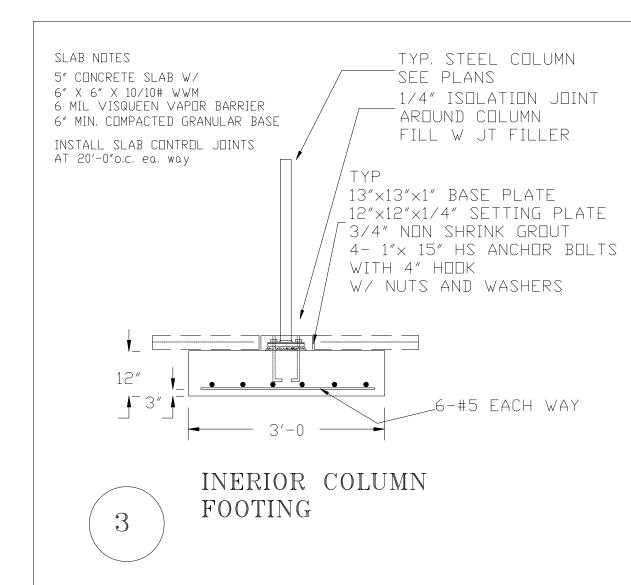


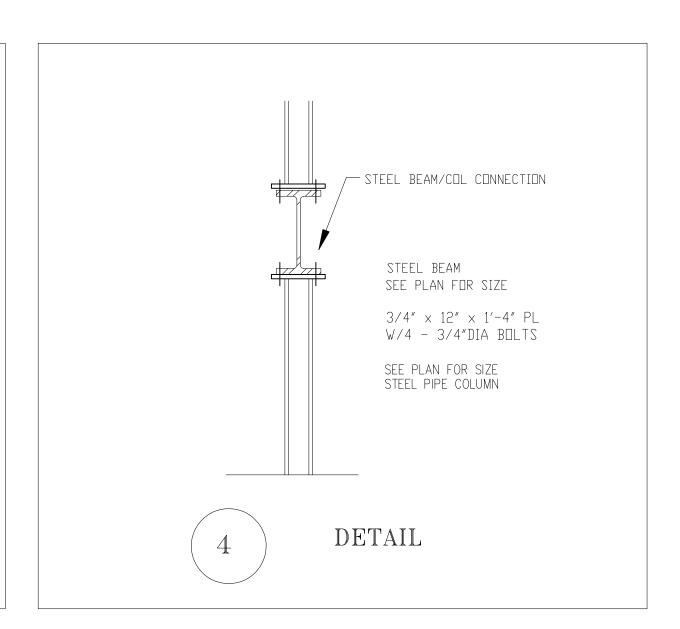


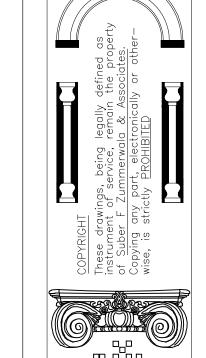












Zummerwala & Associates

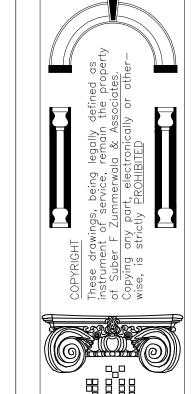
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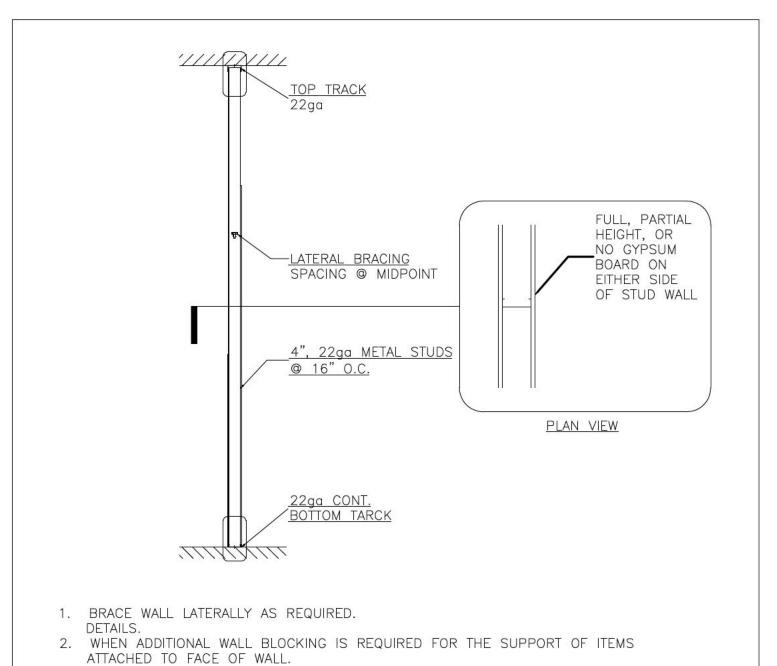
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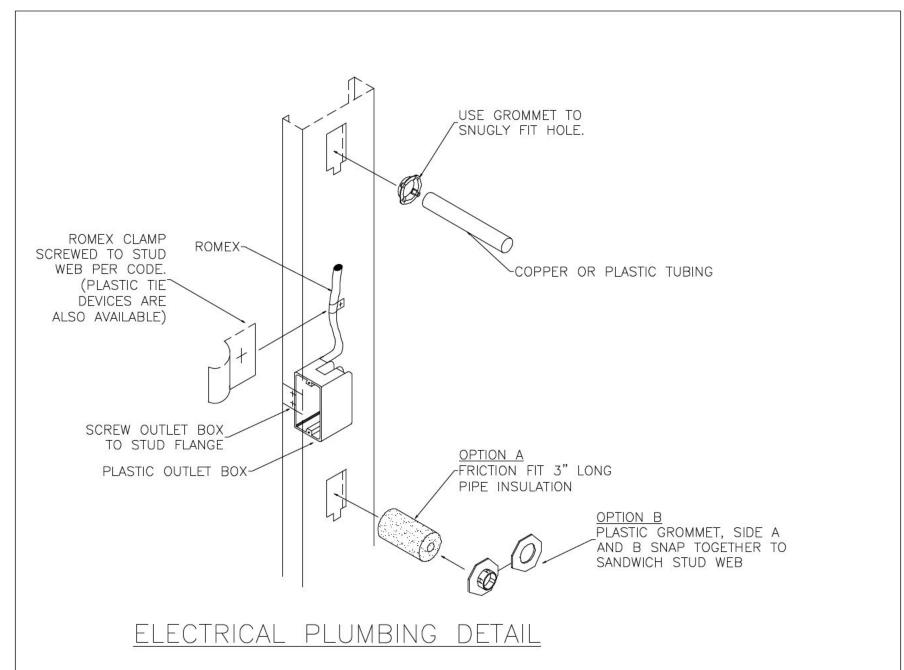
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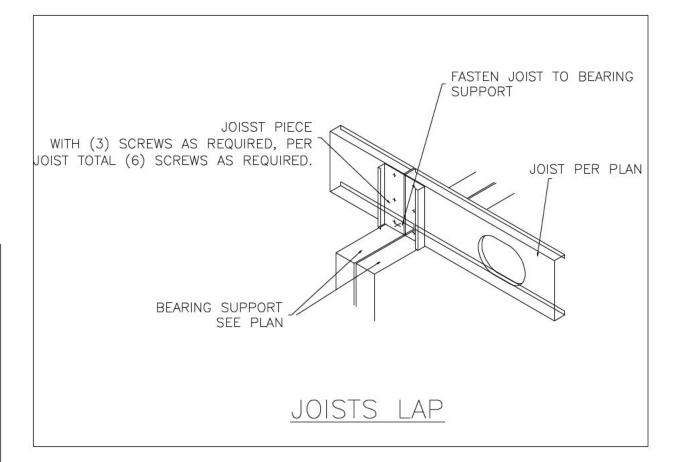
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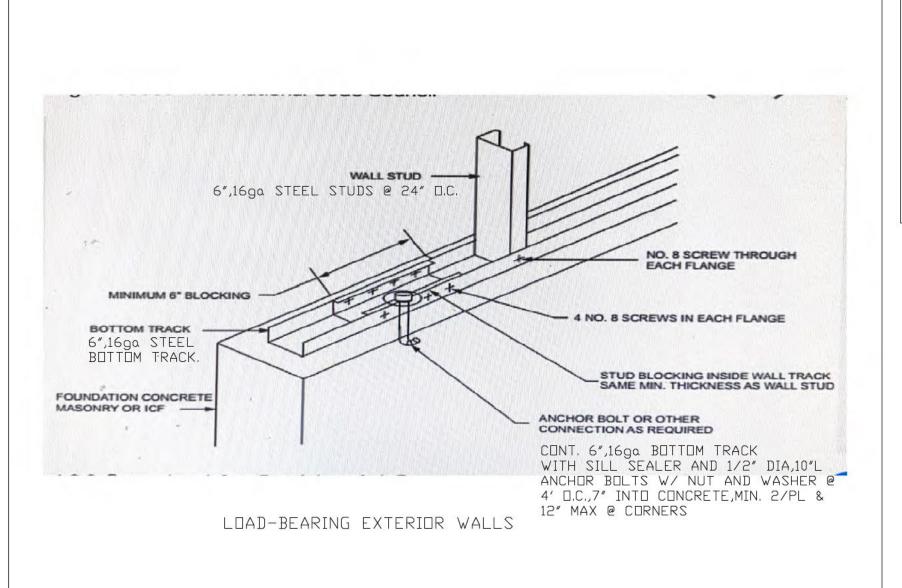


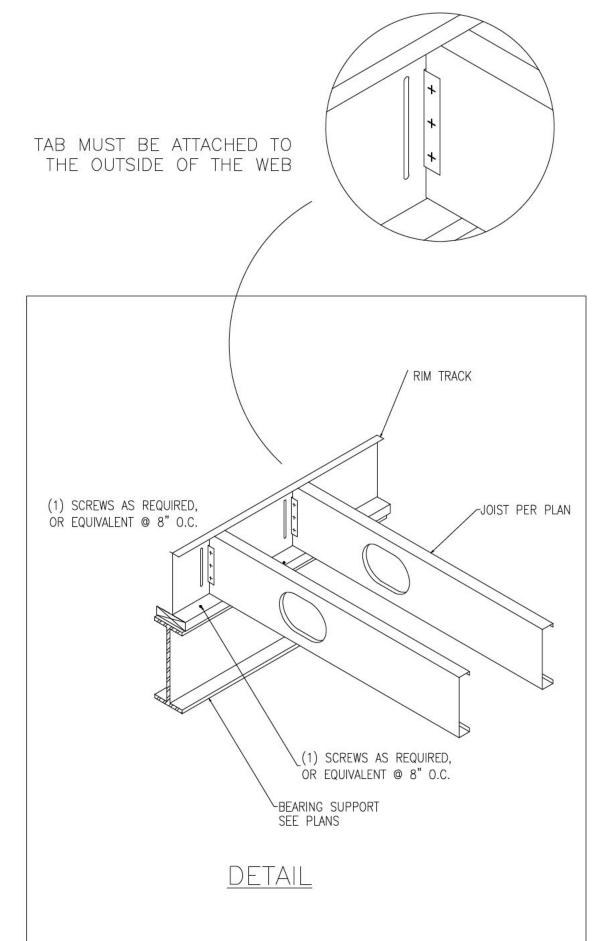


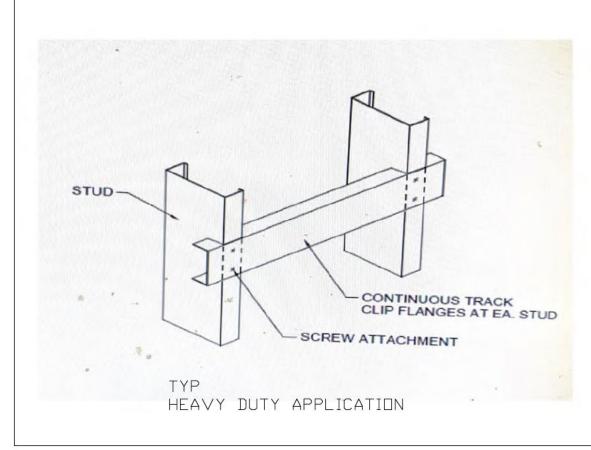


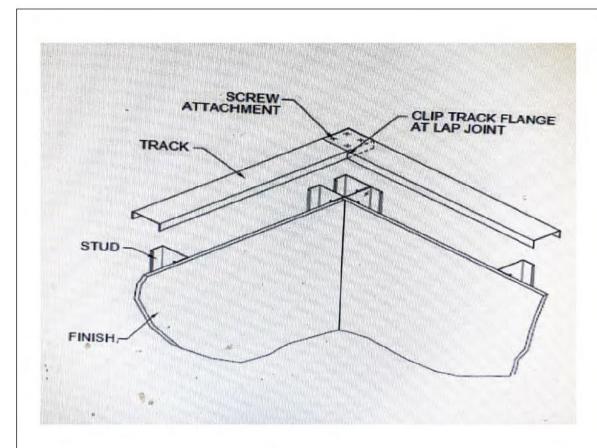


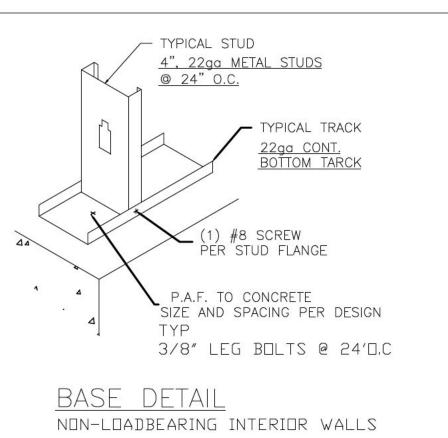


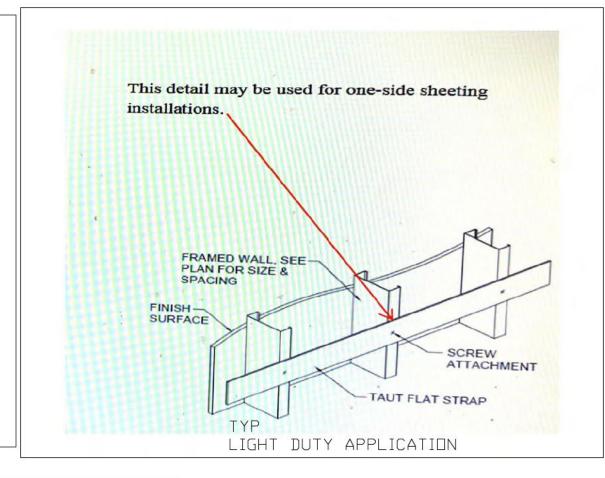


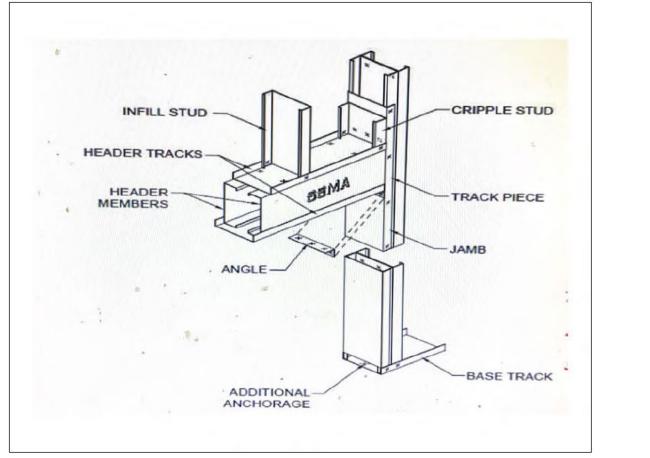


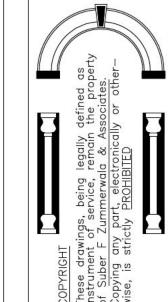


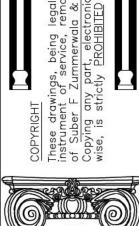


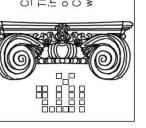










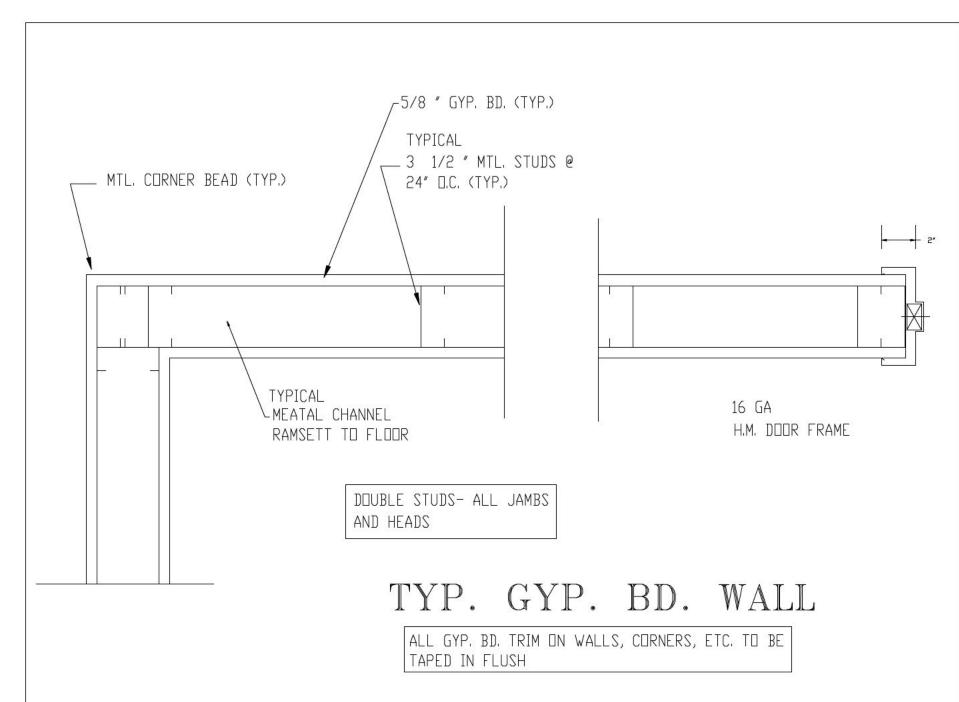


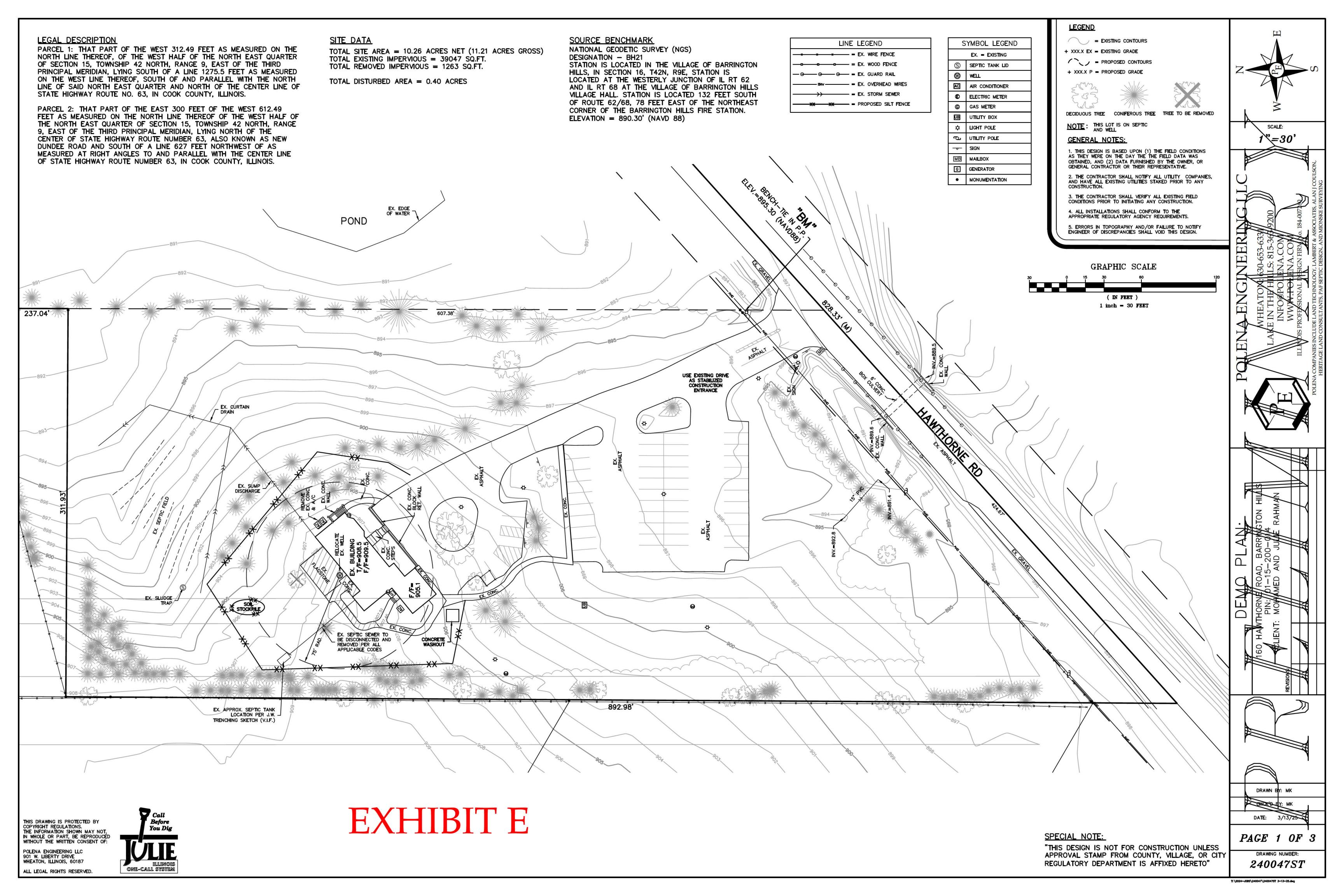
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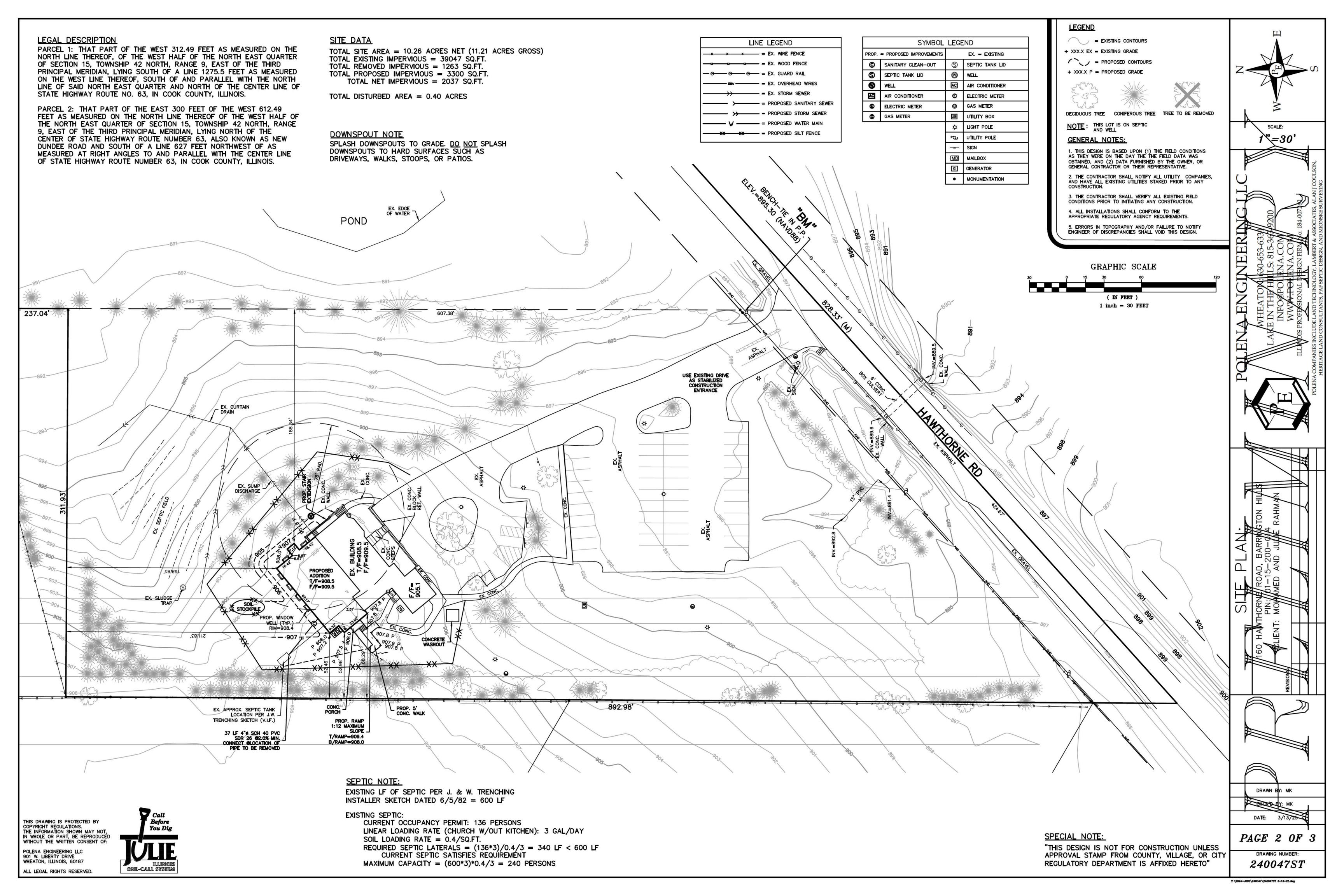
-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

DRAWN BY MK CHECKED BY PROJECT NO. 23321

DATE: 04/5/24



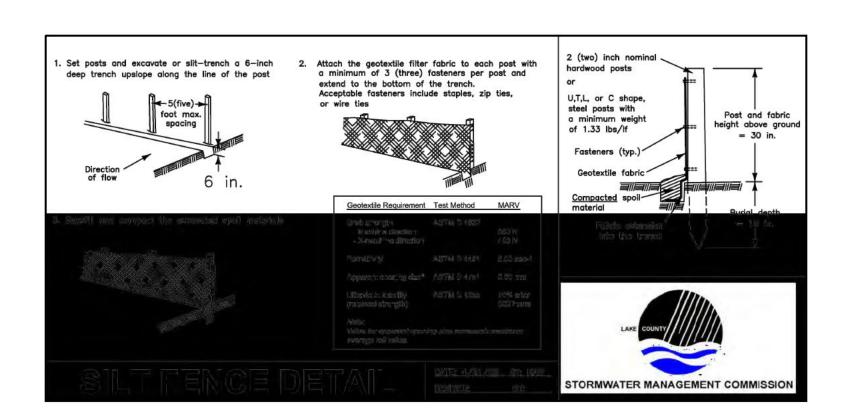




LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED. AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURESAS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

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BARRINGTON HILLS NOTES: 1. THE DESIGN ENGINEER SHALL APPROVE THE LAYOUT OF THE SEPTIC

SYSTEM INSTALLATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. 2. THE DESIGN ENGINEER AND VILLAGE REPRESENTATIVE SHALL REVIEW THE SEPTIC SYSTEM INSTALLATION PRIOR TO COMMENCEMENT OF ANY BACKFILLING.

3. THE INSTALLER SHALL NOTIFY THE DESIGN ENGINEER OF THE PRECISE TIME SCHEDULE FOR THIS PROJECT 2 DAYS IN ADVANCE OF INITIATING ANY CONSTRUCTION, AND SHALL UPDATE THE ENGINEER OF ANY DELAYS.

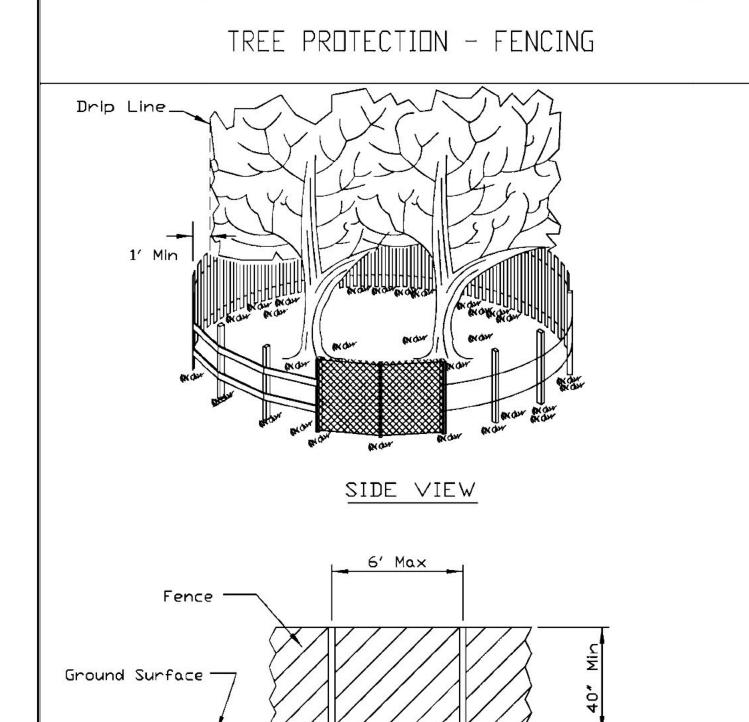


TYPICAL CONSTRUCTION SEQUENCING

- 1.) Installation of soil erosion and sediment control SE/SC measures a.) Selective vegetation removal for silt fence installation

 - b.) Silt fence installation
 - Construction fencing around areas not to be disturbed Stabilized construction entrance
- 2.) Tree removal where necessary (clear & grub)
- 3.) Construct sediment trapping devices (sediment traps, basins...)
- 4.) Construct detention facilities and outlet control structure with restrictor & temporary perforated riser
- 5.) Strip topsoil, stockpile topsoil and grade site
- 6.) Temporarily stabilize topsoil stockpiles (seed and silt fence around toe of slope)
- 7.) Install storm sewer, sanitary sewer, water and associated inlet & outlet protection
- 8.) Permanently stabilize detention basins with seed and erosion control blanket
- 9.) Temporarily stabilize all areas including lots that have reached temporary grade
- 10.) Install roadways
- 11.) Permanently stabilize all outlot areas
- 12.) Install structures and grade individual lots
- 13.) Permanently stabilize lots
- 14.) Remove all temporary SE/SC measures after the site is stabilized with vegetation
- Soil erosion and sediment control maintenance must occur every two weeks and after every ½ or greater rainfall event

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POST AND FENCE DETAIL

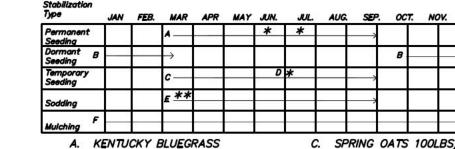
- 1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 5 feet to the trunk of any tree.
- 2. Fence posts shall be either standard steel posts or wood posts with a minumum cross sectional area of 3.0 sq. in.
- 3. The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer/inspector.

REFERENCE Project			NIDCO
Designed	Date		NIK('
Checked	Date		
Approved	Date	_ Natural Resource	s Conservation Service

STANDARD DWG. NO. IL-690

DATE 4-7-94

SOIL PROTECTION CHART



90LBS/AC. MIXED WITH PERENNIAL RYEGRASS 30LBS/AC.

C. SPRING OATS 100LBS/AC. D. WHEAT OR CEREAL RYE

B KENTUCKY BLUEGRASS PERENNIAL RYEGRASS

E. SOD 135LBS/AC. MIXED WITH F. STRAW MULCH 2 TONS/AC. 45LBS/AC. + 2 TONS STRAW MULCH PER AC.

* IRRIGATION NEEDED DURING JUNE, JULY AND SEPTEMBER ** IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SODDING

GENERAL SEEDING SPECIFICATIONS:

ALL DISTURBED AREAS SHALL BE GRADED & SEEDED AS FOLLOWS:

1) SCARIFY SUBSOIL TO A DEPTH OF 4") SPREAD TOPSOIL 4" THICK

FERTILIZE WITH N9-P18-K9 FINAL RAKING

5) SEED APPLICATION 6) APPLY STRAW @ 2 TONS/ACRE

7) ALL SLOPES OVER 5:1 PLACE 1" x 2" NYLON MESH OVER STRAW - STAPLE IN PLACE 8) PERMANENT SEEDING

A) FERTILIZE @ 130#/ACRE B) SEED WITH KENTUCKY BLUEGRASS @ 90#/ACRE & PERENNIAL RYE GRASS @ 40#/ACRE 9) TEMPORARY SEEDING

A) FERTILIZE @ 60#/ACRE B) SEED WITH CEREAL RYE @ 300#/ACRE, OATS @ 300#/ACRE & PERENNIAL

RYE @ 30#/ACRE 10) DORMANT SEEDING (NOVEMBER 1 through MARCH 15) A) INCREASE SEEDING APPLICATION BY 50%

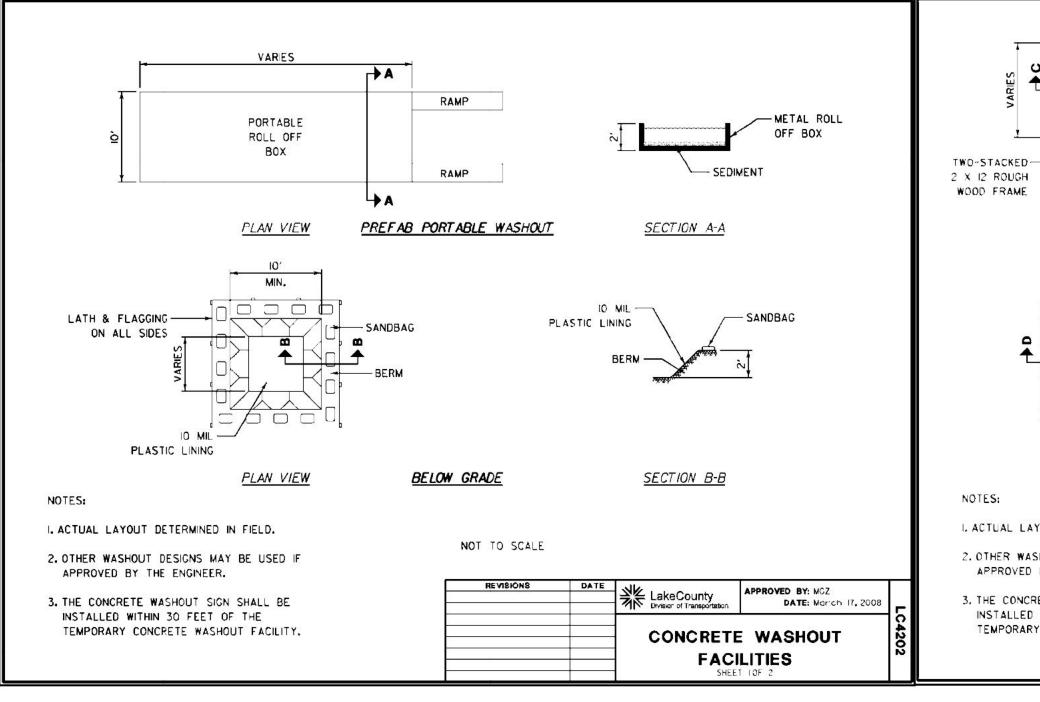
1) ALL DISTURBED AREAS (EXCEPT THOSE TO BE PAVED) SHALL HAVE

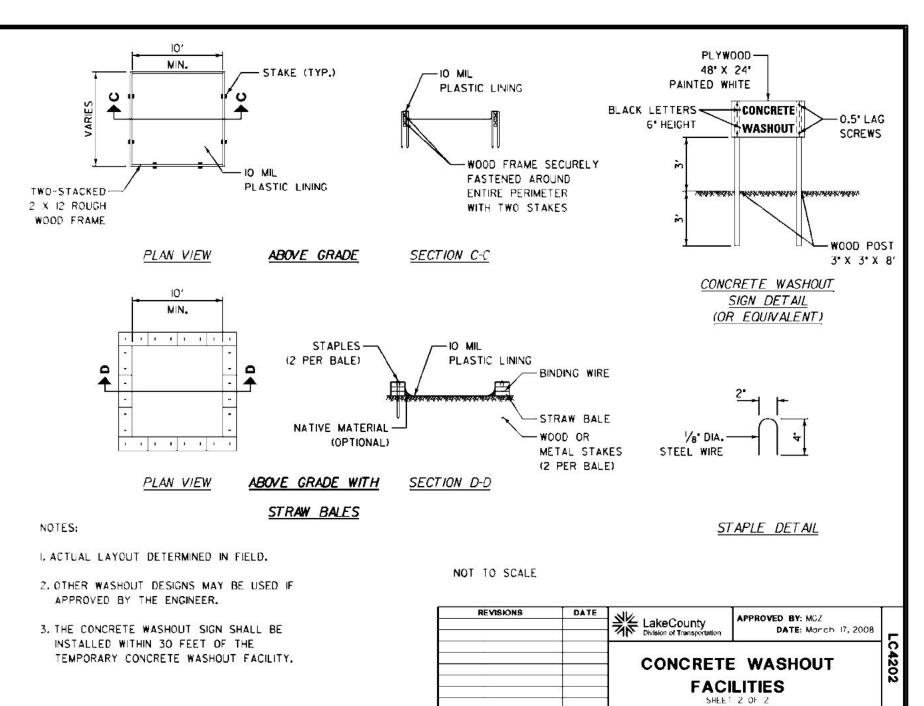
SEED & MULCH APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING. 2) THE OWNER SHALL BE TOTALLY RESPONSIBLE FOR EROSION CONTROL & DETENTION MEASURES BEFORE, DURING & AFTER CONSTRUCTION.

3) EROSION CONTROL & CONSTRUCTION SHALL CONFORM WITH STANDARDS SET FORTH BY THE "ILLINOIS PROCEDURES & STANDARDS FOR URBAN SOIL EROSION & SEDIMENT CONTROL" MANUAL, LATEST EDITION (JULY, 1988)

4) DUST & TRAFFIC CONTROL
IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MINIMIZE DUST
BLOWING FROM THE CONSTRUCTION SITE. IF DUST BEGINS BLOWING FROM THE
SITE ALL ROADWAYS SHALL BE TREATED WITH A DUST CONTROL BINDER (CURASOL TERRATACK OR EQUAL). APPLY AS NEEDED ACCORDING TO MANUFACTURE DIRECTIONS.

5) BARRIER FILTER PLACEMENT DETAIL: A) MAINTAIN DETENTION BARRIER, SWALE & STRUCTURE FILTERS UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED UPSTREAM. B) AFTER REMOVAL OF FILTERS PLACE SOD AROUND STRUCTURES.





SPECIAL NOTE:

"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO"

SCALE: DATE: 3/13/2 PAGE 3 OF 3 DRAWING NUMBER: 240047ST

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SYMBOL LEGEND			
PROP.	= PROPOSED IMPROVEMENTS		EX. = EXISTING
0	STORM MANHOLE	0	STORM MANHOLE
®	CATCH BASIN	СВ	CURB CATCH BASIN
Œ	INLET	S	SEPTIC TANK LID
D	CURB STORM MANHOLE	@	WELL
CB	CURB CATCH BASIN	UB	UTILITY BOX
1	CURB INLET	¥	UTILITY POLE
8	WATER VALVE VAULT	•	MONUMENTATION
8	WATER VALVE	W	SEPTIC SOIL BORINGS
74	HYDDANT		

×	HYDRANT	
*	B-BOX	
©	SANITARY MANHOLE	
0	SANITARY CLEAN-OUT	
(A)	AERATOR TANK LID	
0	LIFT STATION LID	
©	SEPTIC TANK LID	
8	WELL	
*	FOUNDATION SOIL BORING	
AC	AIR CONDITIONER	
•	ELECTRIC METER	
0	GAS METER	
UB	UTILITY BOX	
	TRANSFORMER	
\$	LIGHT POLE	
•	UTILITY POLE	
1	GUY WIRE	
-	SIGN	
86 34		

	LINE LEGEND		
- x	* *	- = EX. METAL FENCE	
	0 0	- = EX. WOOD FENCE	
£.	E	- EX. BURIED ELECTRIC LINE	
	G	- EX. BURIED GAS LINE	
-		- EX. BURIED TELEPHONE CABLE	
		- = EX. OVERHEAD WIRES	
-	– w –––	- = EX. WATER MAIN	
		- = EX. SANITARY SEWER	
		- = EX. STORM SEWER	
	- ≻—	= PROPOSED SANITARY SEWER	
	- →	- PROPOSED STORM SEWER	
	– w –––	- PROPOSED WATER MAIN	
	xx xx	- = PROPOSED SILT FENCE	
-	v	- PROP UNDERGROUND UTILITIES	
		= PROPOSED R.O.W.	

- / = PROPOSED FINISH CONTOUR

P 000.0 + = PROPOSED GRADE EX 000.0 + = EXISTING GRADE

MB MAILBOX

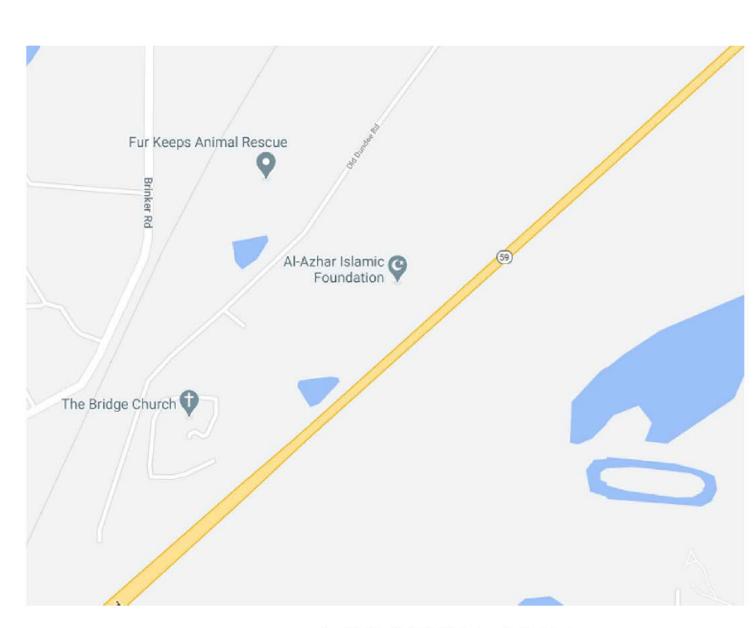
STEEL POST

EXISTING CONFEROUS TREE



EXISTING DECIDUOUS TREE





LOCATION MAP COURTESY OF GOOGLE

SPECIAL NOTES:

"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO". THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE OF THE ENGINEER ON THE TITLE PAGE OF A BOUND SET.

PRELIMINARY ENGINEERING FOR

AL-AZHAR

160 HAWTHORNE RD BARRINGTON HILLS, ILLINOIS

<u>OWNER</u>

AL-AZHAR ISLAMIC FOUNDATION 160 HAWTHORNE BARRINGTON HILLS

CONTRACTOR

EXHIBIT F

DESCRIPTION

02. EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN 03. SITE GRADING PLAN

<u>INDEX</u>

SHEET NO.

01. TITLE SHEET

CIVIL ENGINEERING AND LAND SURVEYING PREPARED BY:

SAM POLENA, PE - CIVIL ENGINEER

WWW.LT-PE.COM WWW.LAMBERTSURVEY.COM Lambert & Associates Land Technology CIVIL ENGINEERING AND LAND SURVEYING PROFESSIONALS

MCHENRY OFFICE 815-363-9200 LANDTECH@LT-PE.COM

WHEATON OFFICE 630-653-6331 INFO@LAMBERTSURVEY.COM



ZONING

INCORPORATED BARRINGTON HILLS ZONING DESIGNATION: R1

OVERALL SITE DATA

TOTAL SITE AREA = 5.40 ACRES
TOTAL PROPOSED IMPERVIOUS = 92556 SQ.FT.
TOTAL REMOVED IMPERVIOUS = 29047 SQ.FT.
NET IMPERVIOUS ADDED = 63509 SQ.FT. = 1.46 ACRES
MAX IMPERVIOUS = 50% = 2.70 ACRES

TOTAL DISTURBED AREA = 3 ACRES

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LAMBERT & **ASSOCIATES** 933 W. LIBERTY DR WHEATON, IL 60187 P: (630)653-6331

F: (630)653-6396

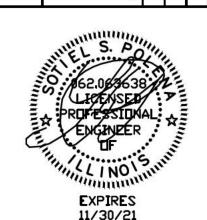
: INFOOLAMBERTSURVEY.COM CIVIL ENGINEERING AND

LAND SURVEYING SERVICES LAND

TECHNOLOGY P: (815)363-9200

F: (815)363-9223 E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-007260



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DATE: 9/10/20

PAGE 1 OF 3

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