

Application for Amendment to Special Use

Al-Azhar Islamic Foundation

160 Hawthorne Road, Barrington Hills, Illinois 60010

Established in 1995, Al-Azhar Islamic Foundation (the "Foundation") was founded by a group of Chicagoland's Egyptian American Muslims. The name of the organization was inspired by al-Jame'e alAzhar, the 10th century center of Islamic knowledge and learning in Cairo, Egypt.

The Al-Azhar Foundations prayer center in Barrington Hills was established twenty-five (25) years ago, and has since been serving its members, and many more who reside around it, by offering a welcoming place for all: the youth and the older generation, women and men, Muslims and non-Muslims. The Barrington Hills Prayer Center is located at 160 Hawthorne Road. A legal description of the property is attached hereto as Exhibit A.

The special use required for a religious institution at the site was originally approved by Resolution 00-30, a copy of which is attached hereto as Exhibit B. The special use was amended in 2021 to allow for an increased parking area by Ordinance 21-06, a copy of which is attached hereto and Exhibit C.

The Foundation now seeks to amend its existing special use to allow for construction of a multi-purpose interior prayer and assembly space on the north side of the existing prayer center building. Detailed plans showing the existing and proposed site plan amendments are attached hereto as Exhibit D. The proposed addition contains approximately two thousand seven hundred (2,700) square feet and will consist of a single story with a ceiling height of ten (10) feet. A basement multi-purpose room will also be added below grade.

The Foundation does not anticipate an increase in the size of its current congregation, or an increase in traffic resulting from the proposed new construction. The change to the site plan is to offer a less restrictive prayer and gathering space for the existing community. No additional parking is anticipated to be necessary as a result of the modifications to the site plan, no additional parking area is requested as a part of this application, and no modifications to the existing ingress or egress from the property are requested as part of this application.

The proposed modification to the site plan would not reduce any current setback, would be well within the maximum FAR for residential uses in the R-1 District, and would otherwise comply with the specifically identified bulk regulations of the R-1 Zoning District. All new construction would fully comply with the Building Code requirements of the Village of Barrington Hills.

The proposed amendment to the special use meets each of the six (6) requirements set forth in the Village Zoning Code, as follows:

- 1. The establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.**

Al-Azhar Foundation provides a spiritual center for the area's American Muslim community. The Foundation provides a safe environment where the community can practice and engage with its faith, pose questions and provide answers to pertinent contemporary issues, and help its members be upright American Muslims who proudly serve their families, neighbors, and community.

The Foundation promotes the health, safety, morals and general welfare of the community through youth and children's activities and educational programs, women's group activities, and community engagement.

- 2. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

The proposed amendment to the special use will not change the nature of the use of the Prayer Center which has been operating at the site for twenty-five (25) years. The proposed amendment will simply expand the gathering space for the existing community to allow for more comfortable gatherings for prayer and educational services. Al-Azhar Foundation has a generally positive relationship with neighboring property owners and has received no complaints for its ongoing operations at the site. The proposed amendment will not change the use of the site, and is consistent with the character and uses of the surrounding area which include two other religious institutions.

- 3. The lot line between the proposed prayer space and the nearest adjacent property owner has a high and dense screen of mature vegetation which would entirely limit the visual impact of the proposed new construction.**

It is not anticipated that the proposed site plan will have any impact on the use or enjoyment of other properties in the immediate vicinity for the purposes permitted, nor is it anticipated that the proposed gathering space will have any impact on the property values of neighboring property owners.

- 4. The establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and**

The special use at the site has been in continuous operation for twenty-five (25) years. The surrounding properties are fully developed with residential, agricultural and religious uses. The proposed additional gathering space would have no impact on the orderly development and improvement of surrounding property for permitted or special uses allowed in the R-1

District. The continued use of the property for religious purposes is in harmony with the surrounding area which contains two (2) other religious institutions.

5. Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.

The proposed site plan indicates that existing utility service will be sufficient to service the proposed additional gathering space. The site has more than sufficient drainage with a detention area located on site. Preliminary stormwater and engineering plans are attached hereto as Exhibits E and F.

6. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public and roads.


The proposed amendment to the special use will not change the nature of the use of the Prayer Center which has been operating at the site for twenty-five (25) years. The proposed amendment will simply expand the gathering space for the existing community to allow for more comfortable gatherings and prayer services.

The Foundation does not anticipate an increase in the size of its current congregation, nor will an increase in traffic result from the proposed new construction. Currently the Prayer Center has little to no impact on traffic patterns in the vicinity. The Foundation does not anticipate any changes to the existing traffic patterns as a result of the proposed Amendment to Special Use.

7. The special use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Board of Trustees pursuant to the recommendation of the Zoning Board of Appeals.

The proposed modification to the site plan is fully compliant will not reduce any current setback, would be well within the maximum FAR for residential uses in the R-1 District, and would otherwise comply with the specifically identified bulk regulations of the R-1 Zoning District. All new construction would fully comply with the Building Code requirements of the Village of Barrington Hills.

Abdel Nouredin, President of the Al Azhar Islamic Foundation, the owner of the subject property, certifies that all of the above statements and other information submitted as part of this application are true and correct to the best of his knowledge.


Abdel Nouredin,
President
Al Azhar Islamic Foundation

8/7/2025
Date

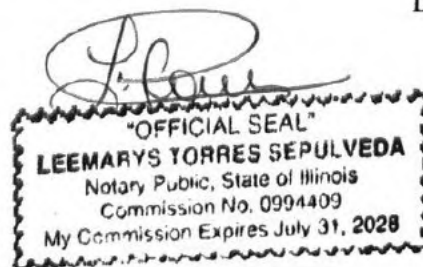


EXHIBIT A

LEGAL DESCRIPTION

160 HAWTHORNE ROAD, BARRINGTON HILLS, ILLINOIS

LEGAL DESCRIPTION

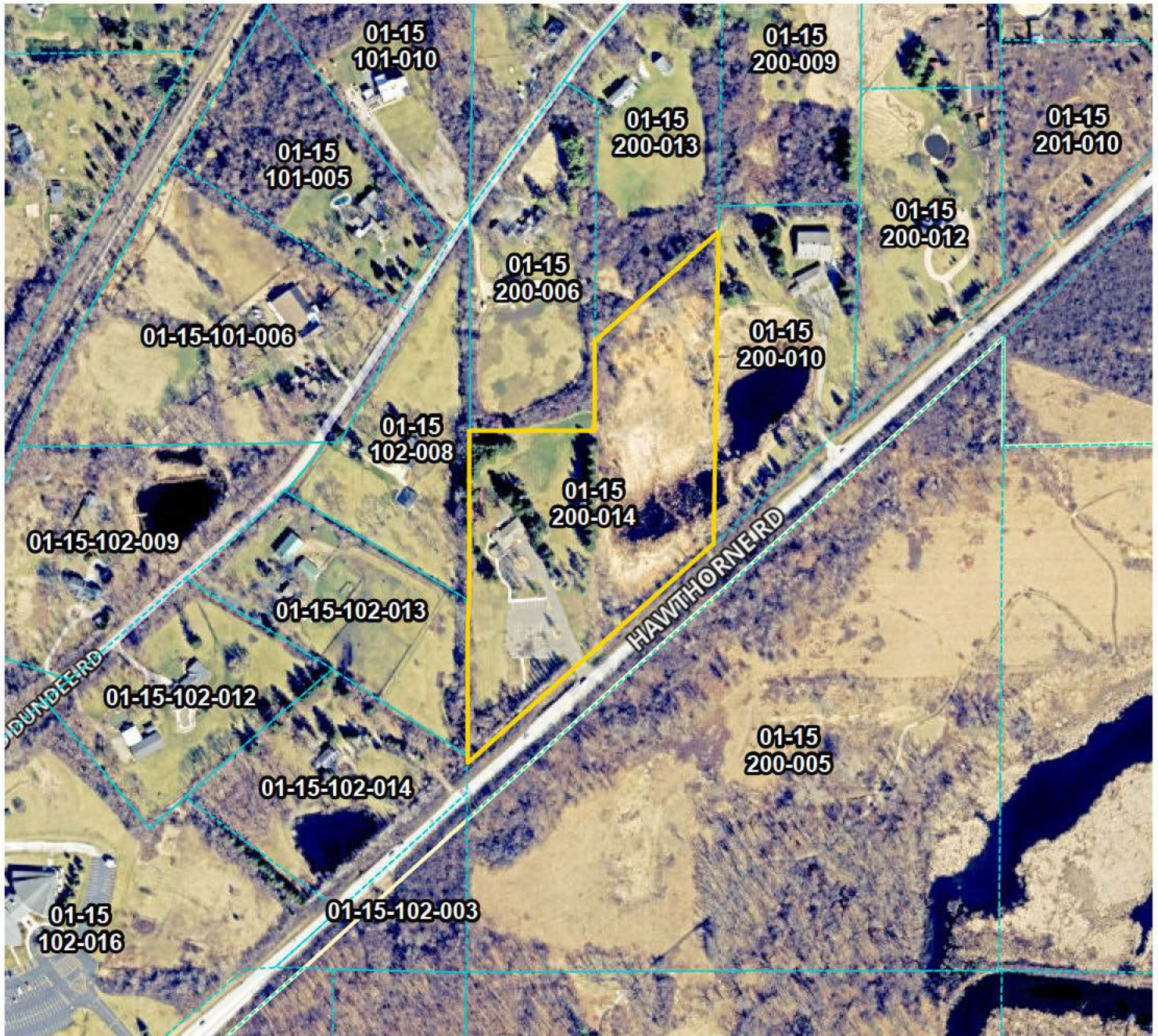
PARCEL 1: THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE EAST 300 FEET OF THE WEST 612.49 FEET AS MEASURED ON THE NORTH LINE THEREOF OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE CENTER OF STATE HIGHWAY ROUTE NUMBER 63, ALSO KNOWN AS NEW DUNDEE ROAD AND SOUTH OF A LINE 627 FEET NORTHWEST OF AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE CENTER LINE OF STATE HIGHWAY ROUTE NUMBER 63, IN COOK COUNTY, ILLINOIS.





CookViewer

Cook County Parcel Viewer



Legend

Selected Parcels

-  Source Parcel
-  Parcels Current



Map generated from CookViewer, Cook County's Parcel Viewer application maintained by the Bureau of Technology's GIS Division. For parcel and property identification number (PIN) questions, contact the Cook County Clerk's Office. For property detail and assessment questions, contact the Cook County Assessor's Office. For property tax bill questions, contact the Cook County Treasurer.

Owner of Subject Property: Al-Azhar Islamic Foundation
 160 Hawthorne Road
 Barrington Hills, IL
 PIN: 01-15-200-014-0000

Properties within 250 feet of Subject Property (indicated by PIN on attached Map):

PIN	Street Address	City State Zip	Name	Mailing Address
01-15-200-006-0000	129 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Katarzyna Szymczak STA	129 Old Dundee Road, Barrington, IL 60010
01-15-200-005-0000	129 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Forest Preserve District of Cook County	536 North Harlem Avenue, River Forest, IL 60305
01-15-102-014-0000	170 HAWTHORNE RD	BARRINGTON HILLS, IL 60010	Charles Yakich Trust	5200 E Doubletree Road, Paradise Valley, AZ 85253
01-15-102-013-0000	145 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Michael Collins	145 Old Dundee Road, Barrington Hills, IL 60010
01-15-102-003-0000	165 HAWTHORNE RD	BARRINGTON HILLS, IL 60010	Forest Preserve District of Cook County	536 North Harlem Avenue, River Forest, IL 60305
01-15-200-013-0000	127 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Francis E Goodman	127 Old Dundee Road, Barrington, IL 60010
01-15-200-010-0000	150 HAWTHORNE RD	BARRINGTON HILLS, IL 60010	Kimberly K Priola	150 Hawthorne Road, Barrington, IL 60010
01-15-200-009-0000	125 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Yaser Siraj	125 Old Dundee Road, Barrington, IL 60010
01-15-102-008-0000	139 OLD DUNDEE RD	BARRINGTON HILLS, IL 60010	Carolyn J Wells	PO Box 527, Barrington, IL 60011

00646774

5535/0122 30 001 Page 1 of 2
2000-08-22 15:19:03
Cook County Recorder 23.50



General
WARRANTY DEED

MAIL TO:
Rasha Elganzouri
2445 M. Street N.W.
Washington, DC 2--37

NAME & ADDRESS OF TAXPAYER:
Al-Azhar Islamic Foundation
160 Hawthorne Rd.
Barrington Hills, Illinois 60010

GRANTOR(S), Ted Dziejewski Declaration of Trust, dated August 8, 1995. of Barrington Hills in the County of Cook, in the State of Illinois, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, CONVEY(S) and WARRANT(S) to the GRANTEE(S), Al-Azhar Islamic Foundation of 633 Skokie Blvd., Suite 405, Northbrook in the County of Cook, in the State of Illinois, the following described real estate:

THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS.

Permanent Index No.
01-15-200-007

Property Address:
160 Hawthorn Rd.
Barrington Hills, Illinois 60010

SUBJECT TO: (1) General real estate taxes for the year 1999 and subsequent years. ~~(2) Covenants, conditions and restrictions of record~~ hereby releas Homestead Exemption Laws of the State of Illinois. *not yet due or payable.

DATED this 5th day of July, 2000.

[Redacted Signature]

Andrew M. Dziejewski, Trustee

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

I, the undersigned, a Notary Public in and for the County and State aforesaid, DO HEREBY CERTIFY that Ted Dziejewski Declaration of Trust, dated August 8, 1995. personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me this

WARRANTY DEED - Page 1

ASSOCIATED PARALEGAL SERVICES
799 Roosevelt Rd. Bldg. 6 Suite 120
Glen Ellyn, IL 60137 PRO-OP 24880

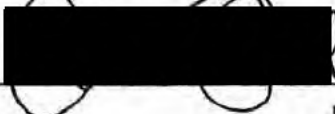


day in person, and acknowledged that he signed, sealed and delivered the said instrument as his free and voluntary act, for the uses and purposes therein set forth, including the release and waiver of the right of homestead.

Given under my hand and notary seal, this 5 day of

July

, 2000



(seal)

My commission expires _____



00646774

COUNTY - ILLINOIS TRANSFER STAMPS


Exempt Under Provision of Paragraph _____ Section 4, Real Estate Transfer Act
Date: _____

Prepared By:
Dwight C. Adams
138 W. Station St.
Barrington, Illinois 60010

Signature: _____

COUNTY TAX

COOK COUNTY
REAL ESTATE TRANSFER TAX

 AUG. 22.00


REVENUE STAMP

0000033695

REAL ESTATE TRANSFER TAX
00227.50
FP326670

STATE TAX

STATE OF ILLINOIS

 AUG. 22.00

REAL ESTATE TRANSFER TAX
DEPARTMENT OF REVENUE

0000017069

REAL ESTATE TRANSFER TAX
00455.00
FP326660

**RESOLUTION GRANTING A SPECIAL
USE PERMIT FOR 160 HAWTHORNE ROAD**

WHEREAS, Section 5-10-7 of Zoning Code of the Village of Barrington Hills ("Village") authorizes the Village Zoning Board of Appeals ("ZBA") to recommend, and the Board of Trustees to approve, special uses within the zoning districts of the Village; and

WHEREAS, Section 5-5-3(A) of the Village Zoning Code classifies as a special use churches, chapels, temples and synagogues; and

WHEREAS, Section 5-10-7(E) of the Village Zoning Code establishes standards which must be met before the ZBA may recommend approval of a special use; and

WHEREAS, the ZBA concluded its public hearing on November 20, 2000, on the petition (the "Petition") of the Al-Azhar Islamic Foundation ("Applicant") for the granting of a special use to permit the renovation and improvement of the property commonly known as 160 Hawthorne Road, Barrington Hills and legally described on Exhibit A attached hereto and made a part hereof (the "Property"), and made all necessary findings of fact as to compliance with the standards set forth in Section 5-10-7(E) of the Village Zoning Code, and recommended that the special use be granted; and

WHEREAS, notice of the public hearing was published in a timely manner in the Barrington Daily Herald as well as posted in the Village Hall, and individual notice was provided to all property owners within two hundred fifty feet (250) of the Property, as recorded in the Tax Assessor's office of Barrington Township; and

WHEREAS, the ZBA included in its recommendation the stipulation that the renovations and improvements be constructed substantially as shown on the exhibits to the Petition presented to the ZBA at the public hearing; and

WHEREAS, pursuant to Section 5-10-7(F) of the Village Zoning Code, prior to the granting of any special use, the Board of Trustees may stipulate such conditions and restrictions upon the establishment, location, construction, maintenance and operation of the special use as are deemed necessary for the protection of the public interest and to secure compliance with the standards and requirements specified in Section 5-10-7(E).

NOW, THEREFORE, BE IT RESOLVED, by the President and Board of Trustees of the Village of Barrington Hills, Cook, Kane, Lake and McHenry Counties, Illinois, as a home rule municipality the following:

Section One. The special use permit for the operation of a religious institution on the Property as outlined in Applicant's Petition is hereby granted, on the conditions set forth herein.

Section Two. The Property shall be improved as described on the exhibits to the Petition presented to the ZBA at the public hearing or as may be necessary to comply with the Village Code.


Section Three. Pursuant to Section 5-10-7(F) of the Village Zoning Code, the special use granted by this Ordinance shall be effective only for six (6) months from the date hereof, unless the Applicant takes action within such six (6) month period to extend such time period.

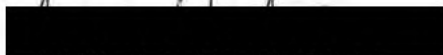
Section Four. If any part or provision of this Resolution shall be held or deemed invalid, such invalidity shall not have the effect of rending another part or provision of this Resolution invalid.

This Resolution shall be in full force and affect from and after its passage and approval as provided by law.

APPROVED THIS 18TH DAY OF DECEMBER, 2000.

AYES: 7 ; NAYS: 0 ; ABSENT: 0 .


Village President

ATTEST:

Deputy Village Clerk

**AN ORDINANCE GRANTING AN AMENDMENT TO AN EXISTING SPECIAL USE
PERMIT FOR THE EXPANSION OF THE PARKING LOT
AT 160 HAWTHORNE ROAD**

WHEREAS, the Village of Barrington Hills (“Village”) is a duly organized and existing Illinois home rule municipality pursuant to the Illinois Municipal Code, 65 ILCS 5/1-1-1 *et seq.*; and

WHEREAS, Section 5-10-7 of the Village’s Zoning Code authorizes the Zoning Board of Appeals (“ZBA”) to recommend, and the Board of Trustees to approve, special uses within the zoning districts of the Village; and

WHEREAS, the Board of Trustees of the Village, pursuant to Resolution 00-30 approved a special use permit for a religious institution use on the property located at 160 Hawthorne Road; and

WHEREAS, pursuant to Resolution 00-30 the Al-Azhar Islamic Foundation has been using the property for the past 20 years for a religious institution, with associated 20-space parking facility; and

WHEREAS, the Al-Azhar Islamic Foundation (“Applicant”) has applied for an amendment to the existing special use to allow it to increase available parking on site to allow 45 parking spaces to better serve the Foundation attendees; and

WHEREAS, on April 19, 2021, the Zoning Board of Appeals (“ZBA”), with a quorum present, held a public hearing on the application, prior to which time a notice of the public hearing was published in a timely manner in the Daily Herald as well as posted in the Village Hall, and individual notice was provided to all property owners as required by the zoning code and notice of said hearing was properly posted on the Property; and

WHEREAS, in support of its application to amend the special use the Applicant has submitted, among other documents, a Preliminary Engineering Plan prepared by Lambert and Associates, dated April 29, 2021, attached hereto as Exhibit A, which, among other information depicts the location of the expanded parking lot; and

WHEREAS, Section 5-10-7(D) of the Village Zoning Code provides that for each application for a special use, the ZBA shall report to the Board of Trustees of the Village its findings and recommendations, including the stipulations of additional conditions and guarantees that such conditions will be complied with when they are deemed necessary for the protection of the public interest; and

WHEREAS, Section 5-10-7(E) of the Village Zoning Code establishes standards which the ZBA deems to have been met before it may recommend approval of the special use permit or any amendment thereof; and

WHEREAS, at the close of the public hearing, the ZBA made necessary findings of fact, as set forth in the attached Exhibit B, as to compliance with the standards set forth in Section 5-10-7(E) of the Village Zoning Code, and recommended that the requested amendment to the special use be granted to allow for the expanded parking lot, subject to the following conditions:

Ordinance 21 -06

1. To require the setback of the pavement/access of the parking lot to be at least 50 feet from the property line of adjacent properties; and
2. To require low temperature lighting installation; and

WHEREAS, the President and the Village Board of Trustees has considered the matter and determined that the recommended amendment to the existing special use permit for the property located at 160 Hawthorne Road be approved, with the condition as required by the ZBA.

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of Barrington Hills, Cook, Kane, Lake and McHenry Counties, Illinois, as a home rule municipality the following:

SECTION ONE: That the foregoing recitals are hereby incorporated by reference as though fully set forth herein.

SECTION TWO: The ZBA's findings of fact and recommendation as set forth in Exhibit B is accepted and incorporated herein by reference.

SECTION THREE: The amendment to the existing special use permit for the purposes set forth herein is hereby granted, predicated on the engineering plan, and with general conformance with the landscaping shown therein, attached hereto as Exhibit A and subject to the following conditions:

1. To prohibit parking in the setback;
2. To require the setback of the pavement/access of the parking lot to be at 100 feet from the property line of adjacent properties; and
3. To require low temperature color lighting installation.

SECTION FOUR: If any part or provision of this Ordinance shall be held or deemed invalid, such invalidity shall not have the effect of rendering another part or provision of this Ordinance invalid.

SECTION FIVE: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Barrington Hills, Illinois, this 24th day of May, 2021.

Ayes: 6 (Strauss, Ekstrom, Buettner, Konicek, Croll, Cecola)
Nays: 0
Absent: 1 (Riff)

APPROVED

Village Pres

ATTEST:

Village Clerk

EXHIBIT A

PRELIMINARY ENGINEERING PLAN

PRELIMINARY ENGINEERING FOR *AL-AZHAR* 160 HAWTHORNE RD BARRINGTON HILLS, ILLINOIS

THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS. THE INFORMATION SHOWN MAY NOT IN WHOLE OR PART, BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY
3922 W. MAIN STREET
MCHENRY, ILLINOIS, 60050
AND/OR
LAMBERT & ASSOCIATES
955 N. LIBERTY DRIVE
WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.



LAMBERT & ASSOCIATES
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WHEATON, IL 60187
P: (630)653-6331
F: (630)653-6396
E: INFO@LAMBERTSURVY.COM

CIVIL ENGINEERING AND LAND SURVEYING SERVICES

LAND TECHNOLOGY
P: (815)363-9200
F: (815)363-9223
E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

TITLE SHEET:	
160 HAWTHORNE RD, BARRINGTON HILLS PIN: 01-16-200-007 CLIENT: AL-AZHAR	REV 1 REV 2
REVISED PAVING LOT LAYOUT AND SITE DATA	REVISED PAVING LOT LAYOUT AND SITE DATA
DATE: 2/7/21	DATE: 4/7/21



DRAWN BY: SSP/DTM
CHECKED BY: SSP
DATE: 9/10/20
PAGE 1 OF 3
DRAWING NUMBER: 18-251L

INDEX

SHEET NO.	DESCRIPTION
01.	TITLE SHEET
02.	EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN
03.	SITE GRADING PLAN

OWNER
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE
BARRINGTON HILLS
CONTRACTOR

CIVIL ENGINEERING AND LAND SURVEYING
PREPARED BY:
SAM POLENA, PE – CIVIL ENGINEER

WWW.LT-PE.COM WWW.LAMBERTSURVEY.COM

CIVIL ENGINEERING AND LAND SURVEYING PROFESSIONALS

MCHENRY OFFICE WHEATON OFFICE
 815-363-9200 630-653-6331
 LANDTECH@LT-PE.COM INFO@LAMBERTSURVEY.COM



POLENA ENGINEERING LLC COMPANIES

ZONING
INCORPORATED BARRINGTON HILLS
ZONING DESIGNATION: R1

OVERALL SITE DATA
 TOTAL SITE AREA = 5.40 ACRES
 TOTAL EXISTING AREA = 36824 SQ.FT. = 0.85 ACRES
 DRIVE = 23853 SQ.FT.
 DEMO ALL EX. DRIVE
 WALK = 2187 SQ.FT.
 BUILDING = 3048
 ROAD = 7736 SQ.FT.
 TOTAL ADDED IMPERVIOUS AREA = 35175 SQ.FT. = 0.81 ACRES
 DRIVE = 35175 SQ.FT.
 NET IMPERVIOUS ADDED = 13764 SQ.FT. = 0.32 ACRES
 50588-35175 = 15413 SQ.FT.
 POST-CONSTRUCTION IMPERVIOUS = 48146 SQ.FT. = 1.11 ACRES
 DRIVE = 23853-23853+35175 = 35175 SQ.FT.
 WALK = 2187 SQ.FT.
 BUILDING = 3048 SQ.FT.
 ROAD = 7736 SQ.FT.
 POST-CONSTRUCTION COVERAGE = 20.6%
 MAX IMPERVIOUS = 50% = 2.70 ACRES
 TOTAL DISTURBED AREA = 3 ACRES

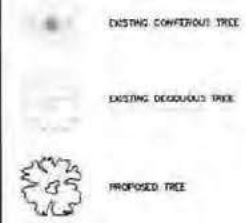
SYMBOL LEGEND

PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING
⊕	STORM MANHOLE
⊗	STORM MANHOLE
⊕	CATCH BASIN
⊗	CURB CATCH BASIN
⊕	INLET
⊗	SEPTIC TANK LID
⊕	CURB STORM MANHOLE
⊗	WELL
⊕	CURB CATCH BASIN
⊗	UTILITY BOX
⊕	CURB INLET
⊗	UTILITY POLE
⊕	WATER VALVE VAULT
⊗	MONUMENTATION
⊕	WATER VALVE
⊗	SEPTIC SOIL BORINGS
⊕	HYDRANT
⊗	0-BOX
⊕	SANITARY MANHOLE
⊗	SANITARY CLEAN-OUT
⊕	ASPIRATOR TANK LID
⊗	LIFT STATION LID
⊕	SEPTIC TANK LID
⊗	WELL
⊕	FOUNDATION SOIL BORING
⊗	AIR CONDITIONER
⊕	ELECTRIC METER
⊗	GAS METER
⊕	UTILITY BOX
⊗	TRANSFORMER
⊕	LIGHT POLE
⊗	UTILITY POLE
⊕	DUY WIRE
⊗	SIGN
⊕	MAILBOX
⊗	STEEL POST

LINE LEGEND

—	EX. METAL FENCE
—	EX. WOOD FENCE
—	EX. BURIED ELECTRIC LINE
—	EX. BURIED GAS LINE
—	EX. BURIED TELEPHONE CABLE
—	EX. OVERHEAD WIRES
—	EX. WATER MAIN
—	EX. SANITARY SEWER
—	EX. STORM SEWER
—	PROPOSED SANITARY SEWER
—	PROPOSED STORM SEWER
—	PROPOSED WATER MAIN
—	PROPOSED SILT FENCE
—	PROP. UNDERGROUND UTILITIES
—	PROPOSED R.O.W.

--- PROPOSED FINISH CONTOUR
 --- EXISTING CONTOUR
 # DOG.D. = PROPOSED GRADE
 EX DOG.D. = EXISTING GRADE



LOCATION MAP
COURTESY OF GOOGLE

SPECIAL NOTES:
 "THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO". THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE OF THE ENGINEER ON THE TITLE PAGE OF A BOUND SET.

ORD 21-06 EXH. A

SITE DATA
 TOTAL SITE AREA = 5.40 ACRES
 TOTAL REMOVED IMPERVIOUS = 29047.0 SQ.FT. = 0.667 ACRES
 TOTAL DISTURBED AREA = 2.5 ACRES

SPECIAL NOTE:
 "THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS
 APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY
 REGULATORY DEPARTMENT IS AFFIXED HERETO"

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 3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
 WHEATON, ILLINOIS, 60090 WHEATON, ILLINOIS, 60187
 ALL LEGAL RIGHTS RESERVED.

LINE LEGEND	
	EX. WIRE FENCE
	EX. WOOD FENCE
	EX. OVERHEAD WIRES
	EX. BURIED ELECTRIC LINE
	EX. BURIED GAS LINE
	EX. STORM SEWER
	PROPOSED SILT FENCE
	SEPTIC PROTECTION FENCE

SYMBOL LEGEND	
EX.	EXISTING
	SEPTIC TANK LID
	WELL
	AIR CONDITIONER
	ELECTRIC METER
	GAS METER
	LIGHT POLE
	MAILBOX
	STEEL POST
	UTILITY POLE
	MONUMENTATION

LEGEND	
	EXISTING CONTOURS
	EXISTING GRADE
EXISTING IMPROVEMENT TO DEMO	
	TREE TO BE REMOVED
	CONIFEROUS TREE
	DECIDUOUS TREE

GENERAL NOTES:

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- ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
- ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ENGINEER OF DISCREPANCIES SHALL VOID THIS DESIGN.

SCALE:
1" = 30'

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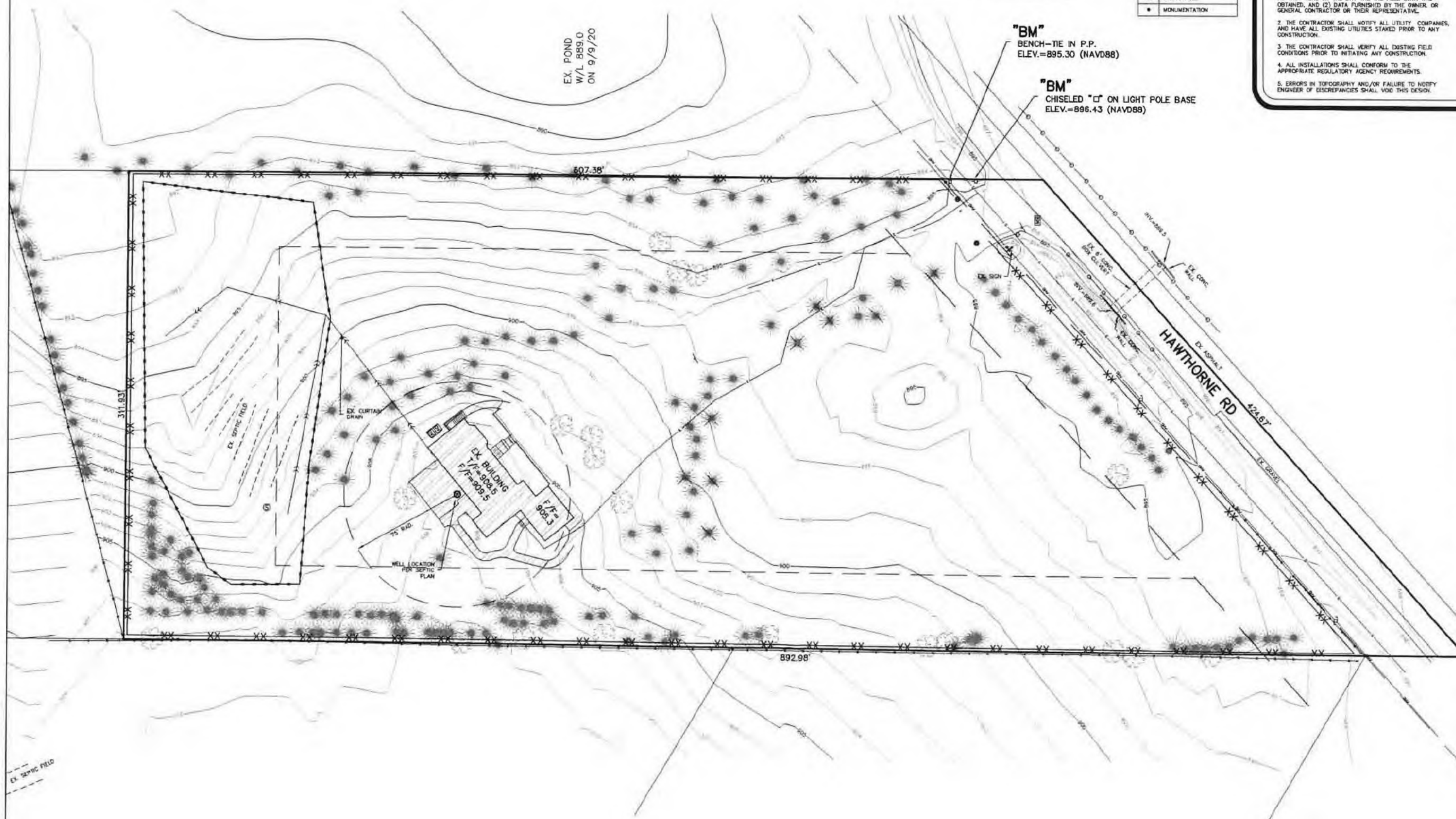
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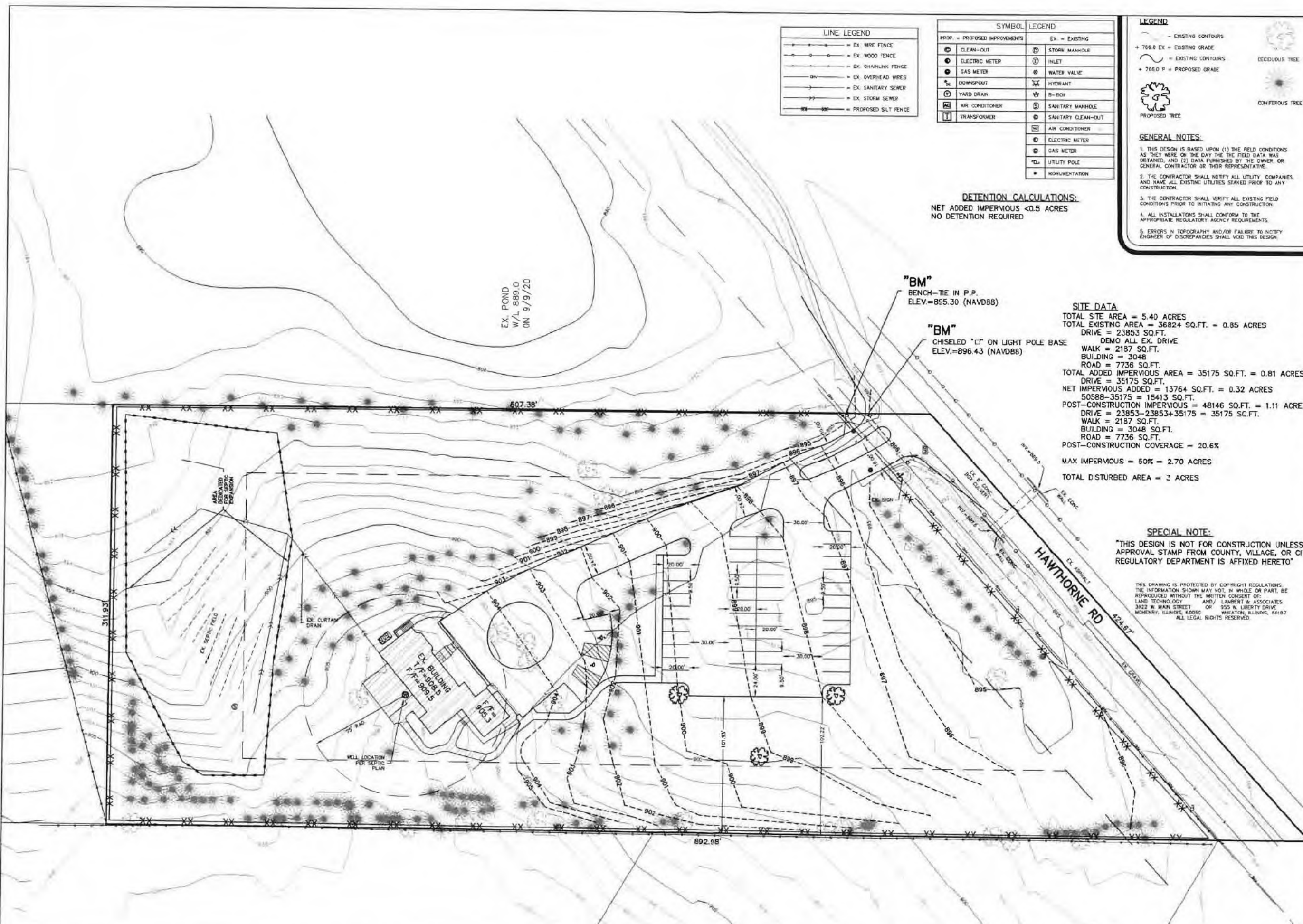
DEMO PLAN:	
160 HAWTHORNE RD, BARRINGTON HILLS	
PIN: 01-15-200-007	
CLIENT: AL-AZHAR	
REVISED PAVING LOT LAYOUT AND SITE DATA	DTM
REVISED PAVING LOT LAYOUT AND SITE DATA	DTM
REV 1	2/16/21
REV 2	4/29/21



DRAWN BY: SSP/DTH
 CHECK'D BY: SSP
 DATE: 9/10/20
PAGE 2 OF 3
 DRAWING NUMBER:
18-251L



ORD 21-06 EXH.A



LINE LEGEND

—	EX. WIRE FENCE
—	EX. WOOD FENCE
—	EX. CHAINLINK FENCE
—	EX. OVERHEAD WRES
—	EX. SANITARY SEWER
—	EX. STORM SEWER
—	PROPOSED SILT FENCE

SYMBOL LEGEND

PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING		
⊕	CLEAN-OUT	⊕	STORM MANHOLE
⊕	ELECTRIC METER	⊕	INLET
⊕	GAS METER	⊕	WATER VALVE
⊕	DOWNSPOUT	⊕	HYDRANT
⊕	YARD DRAIN	⊕	B-BOX
⊕	AIR CONDITIONER	⊕	SANITARY MANHOLE
⊕	TRANSFORMER	⊕	SANITARY CLEAN-OUT
⊕		⊕	AIR CONDITIONER
⊕		⊕	ELECTRIC METER
⊕		⊕	GAS METER
⊕		⊕	UTILITY POLE
⊕		⊕	MONUMENTATION

LEGEND

—	EXISTING CONTOURS	⊕	DECIDUOUS TREE
+ 766.0 EX	EXISTING GRADE	⊕	CONIFEROUS TREE
+ 766.0 P	PROPOSED GRADE		
⊕	PROPOSED TREE		

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DETENTION CALCULATIONS:
 NET ADDED IMPERVIOUS <0.5 ACRES
 NO DETENTION REQUIRED

SITE DATA

TOTAL SITE AREA = 5.40 ACRES
 TOTAL EXISTING AREA = 36824 SQ.FT. = 0.85 ACRES
 DRIVE = 23853 SQ.FT.
 DEMO ALL EX. DRIVE
 WALK = 2187 SQ.FT.
 BUILDING = 3048
 ROAD = 7736 SQ.FT.
 TOTAL ADDED IMPERVIOUS AREA = 35175 SQ.FT. = 0.81 ACRES
 DRIVE = 35175 SQ.FT.
 NET IMPERVIOUS ADDED = 13764 SQ.FT. = 0.32 ACRES
 50588-35175 = 15413 SQ.FT.
 POST-CONSTRUCTION IMPERVIOUS = 48146 SQ.FT. = 1.11 ACRES
 DRIVE = 23853-23853+35175 = 35175 SQ.FT.
 WALK = 2187 SQ.FT.
 BUILDING = 3048 SQ.FT.
 ROAD = 7736 SQ.FT.
 POST-CONSTRUCTION COVERAGE = 20.6%
 MAX IMPERVIOUS = 50% = 2.70 ACRES
 TOTAL DISTURBED AREA = 3 ACRES

SPECIAL NOTE:
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SITE GRADING PLAN:

160 HAWTHORNE RD, BARRINGTON HILLS
 P/N: 01-15-200-007
 CLIENT: AL-AZHAR

REV	DATE	DESCRIPTION
REV 1	2/16/21	REVISED PARKING LOT LAYOUT AND SITE DATA
REV 2	1/27/21	REVISED PARKING LOT LAYOUT AND SITE DATA



DRAWN BY: SSF/DTM
 CHECK'D BY: SSF
 1/12018/1823/18-2315T 4-28-21.dwg
 DATE: 9/10/20

PAGE 3 OF 3
 DRAWING NUMBER:
18-251L

CPD 21-060 EXH. A

**EXHIBIT B
ZBA FINDING OF FACTS**

April 30, 2021

To: President and Board of Trustees
Village of Barrington Hills

RE: Application for Amendment to
Special Use Permit to Allow Expansion of the Parking Lot at 160
Hawthorne Road

This is to advise you that at a public hearing of the Zoning Board of Appeals ("ZBA") was held on April 19, 2021, where a quorum was present, the ZBA considered the application of the Al Azhar Islamic Foundation for the grant of an amendment to an existing special use permit to allow for expansion of the parking lot associated with the mosque on its property at 160 Hawthorne Road ("Property"), identified by PIN. 01-15-200-007.

Notice of the hearing was published in a timely manner in the Daily Herald as well as posted at the Village Hall. Proof of individual notice, by registered mail, return receipt requested, was submitted for property owners within 250 feet as recorded in the office of the appropriate tax assessor, and the notice of the hearing was properly posted on the Property.

The Applicant was represented at the public hearing by its attorney Thomas G. Gardiner, Amr Abdelmonem, President of the Foundation Board, and Sam Polena, the project's civil engineer, each of whom testified in support the Application for amendment to the existing special use permit, which is on file with the Village.

FACTS

Village Administrator Paul testified to the notice provided for hearing. Attorney Thomas G. Gardiner, representative of the applicant, testified in furtherance of the notice.

Mr. Gardiner testified that the Applicant had sought zoning relief to expand its parking lot and that the ZBA had approved the Application, but that Village Board had concerns which prompted the Applicant to revise its plans and withdraw its prior Application. It is now applying to expand its existing parking lot to 45 spaces and has removed the spaces bordering on neighboring properties. It has also committed to planting 100 additional trees to provide a buffer, and that with the downsizing of the parking it no longer has any issue to address with storm water movement. Relative to concerns about lighting, the Applicant is committed to motion-activated lights. Mr. Gardiner referenced the response to the finding of facts required for issuance of the amended special use permit, contained in the Application. If approved, the Applicant acknowledges it will be subject to all permitting requirements of the Village, and that it has taken steps to address all engineering concerns.

Amr Abdelmonem, the President of the Board, was placed under oath and testified that the increase in parking is from 19 to 45 spots, and that the Applicant has an occupancy limit of 130; thus, the parking is compatible with this limit. With the reduction in parking, the Applicant will require pre-registration for events to limit the number of people attending, and that certain events will now not be held at the Foundation property. In response to questions relative to stacking of cars awaiting ingress, Mr. Abdelmonem responded that it is not an issue now.

Resident Carolyn Wells, 189 Old Dundee Road, was placed under oath and testified in opposition to the Application, on behalf of herself and neighbors Mike and Carolyn Collins, Roberto Rizzo. She requested that the ZBA consider requiring a 100-foot set back of the parking from the property line, rather than the current setback.

Exhibit B
ZBA Findings of Fact
April 30, 2021
Page 2

Brett Burval, 128 Old Dundee Road, was placed under oath and testified questioning whether the Application would consider installing low temperature lighting to reduce the brightness of the lights in consideration of the neighboring properties.

Anthony Priola, 150 Hawthorne Road, was placed under oath and testified in support of the Application. He testified that the Foundation has been a great neighbor and that the plan which has been put together is in an attempt to be a good neighbor to all in the community. He asked the ZBA to approve the Application.

Lynn Levy, 227 Westfield Way, was placed under oath and testified that she is happy to see the number of parking spaces requested to lower to 45. Her primary concern is the safety of ingress/egress and the plan to plant arborvitae on the property, as this species is very popular with the deer population. Relative to ingress, Ms. Levy questioned whether it is legal to allow traffic to cross the existing double yellow road lane markings when turning left access the property.

Linda Cools, 32 Little Bend Road, was placed under oath and testified that the property is located in the R1 residential district and that it is admirable that the Applicant reduced the size of the parking they are requesting.

Roberto Rizzo, 129 Old Dundee, was placed under oath and testified in support of the proposed 100-foot setback, to allow greater green space to exist between the proposed parking and the neighbors.

Mr. Abdelmonem testified that the Foundation would increase the setback if it could, as it desires to be a good neighbor.

In response, Member Goss stated it was not necessary to do so. The idea of a 100-foot setback is nice, not necessary in this instance. He stated sometimes it is a matter of people just not wanting a particular use in the residential community. Member Gigerich stated he believed the 50-foot setback was reasonable. Member Hennelly stated the ZBA had already approved the 50-foot setback when the Applicant was before the ZBA on its prior application.

The Applicant placed into the record the following facts required for the special use permit:

1. The proposed expansion of the parking lot will comply with all applicable standards set forth by the Village. It will promote the mosque observations and serve the members of the mosque.
2. The expansion will have no impact on other property owners.
3. The expansion of the parking lot will not impede expansion or improvement of other properties and will occur entirely within the confines of the Foundation property.
4. There are existing adequate utilities and drainage serving the property.
5. There are no modifications needed to traffic, access to the property will not change.
6. Expansion of the parking lot will conform in all respects with the Village Code.

FINDINGS

The ZBA reviewed the facts as set forth by the Applicant, and the testimony of residents. After having examined the facts as presented and taking into consideration the testimony set forth during the public hearing, by their vote to recommend approval of the Application, the majority of a quorum determined that the facts presented met the requirements of section 5-10-7.

Exhibit B
ZBA Findings of Fact
April 30, 2021
Page 3

RECOMMENDATION

Exhibit B
ZBA Findings of Fact
Page 3

The ZBA recommends that the Village Board approve the request for amendment to the special use permit, voted 5-1 (1 member absent) to approve the request of the Applicant to amend its special use permit, subject to the following conditions:

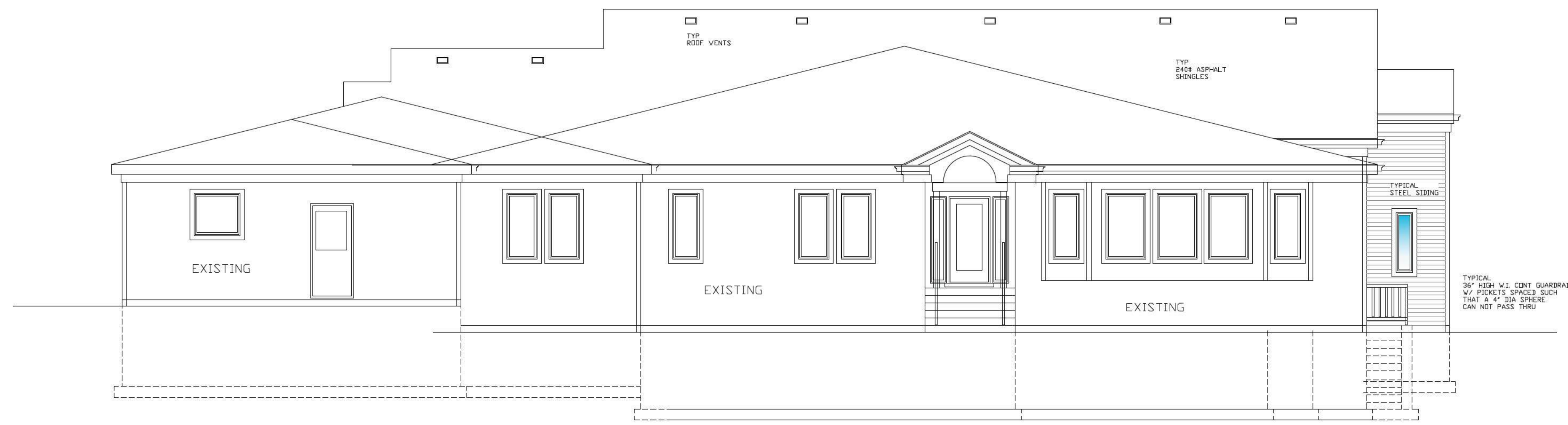
1. To require the setback of the pavement of the parking lot to be at least 50 feet from the property line of adjacent properties; and
2. To require low temperature lighting installation.

Respectfully submitted,

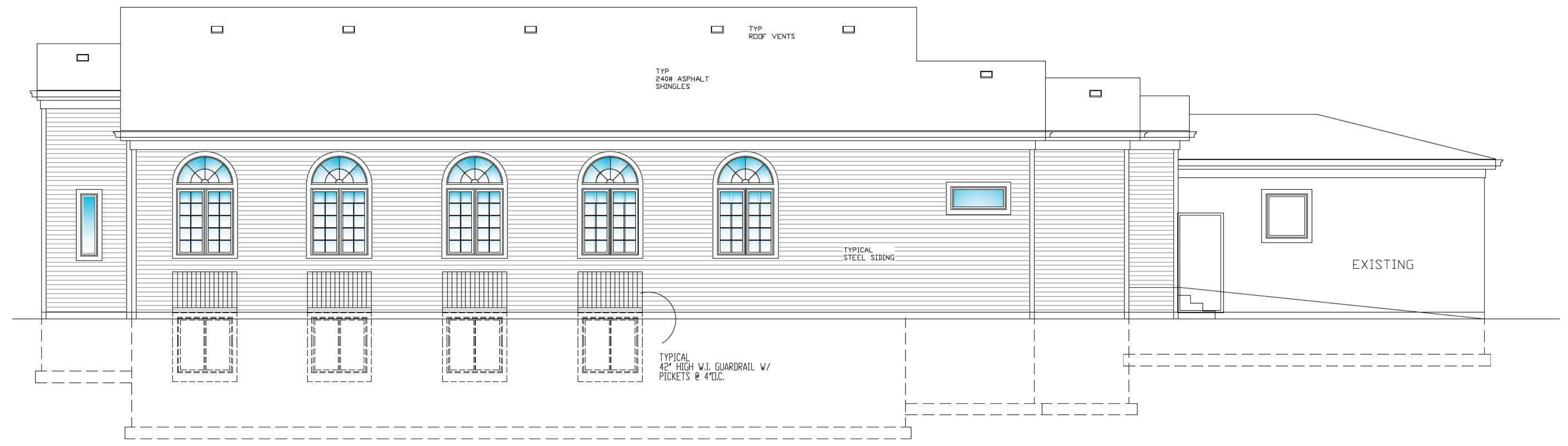
/s/ Daniel Wolfgram

Chairman
Zoning Board of Appeals
Village of Barrington Hills

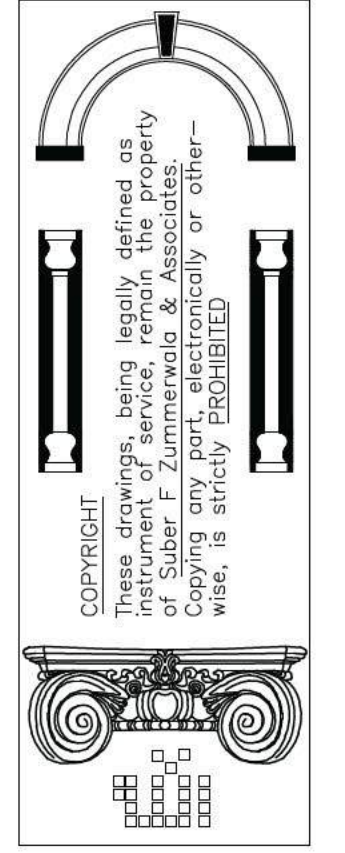
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FRONT ELEVATION
SCALE : 3/16" = 1'



REAR ELEVATION
SCALE : 3/16" = 1'



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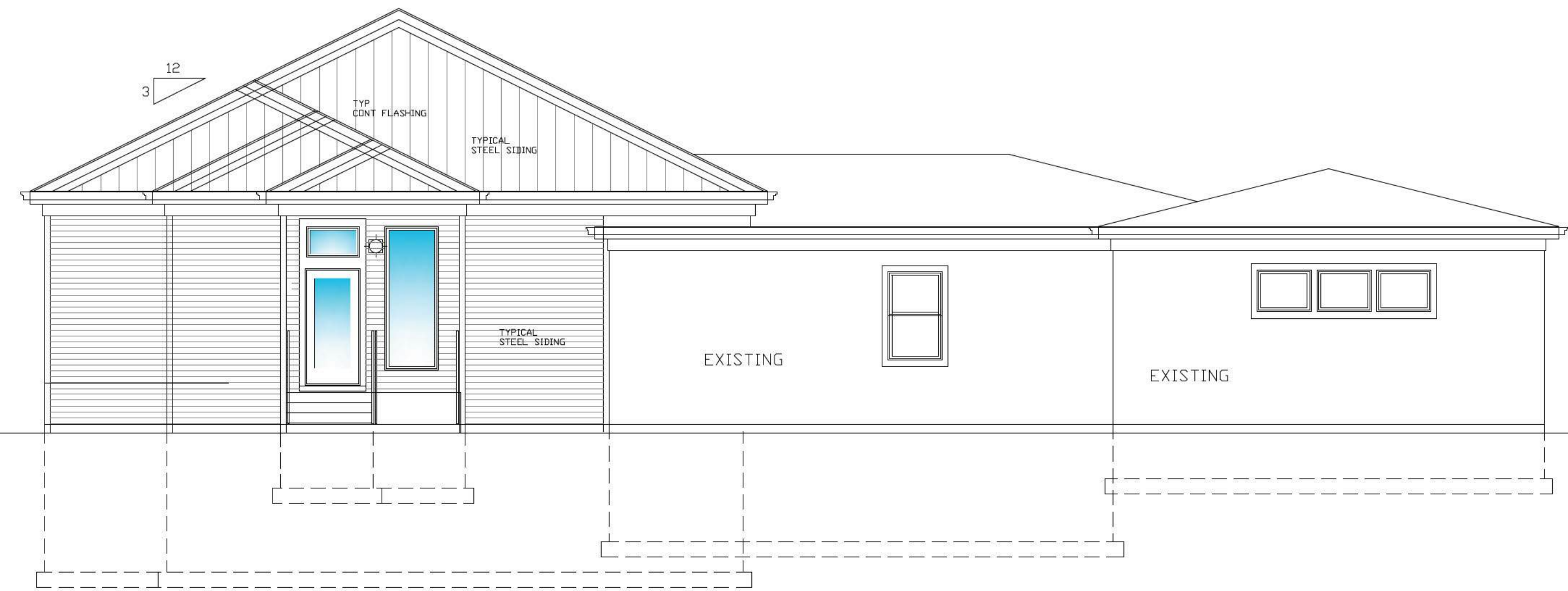
ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

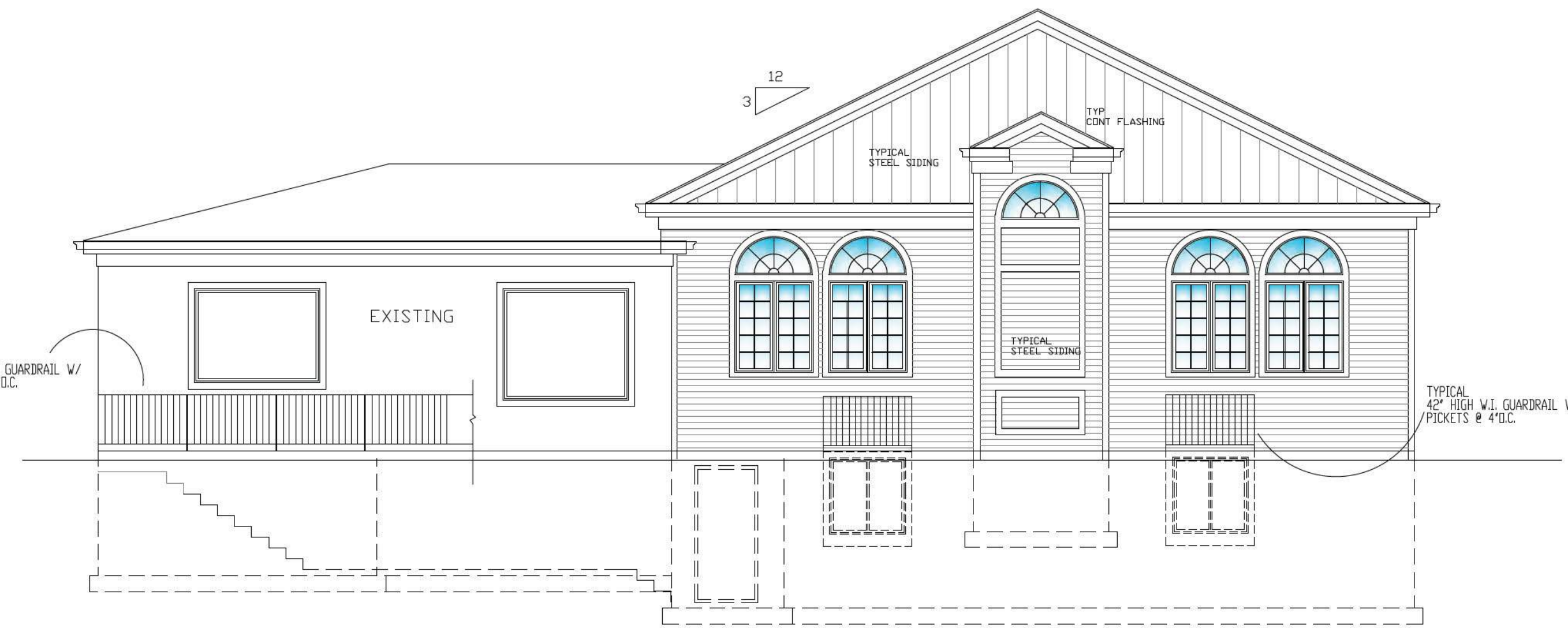
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PROJECT NO. 23321
DATE 04/5/23



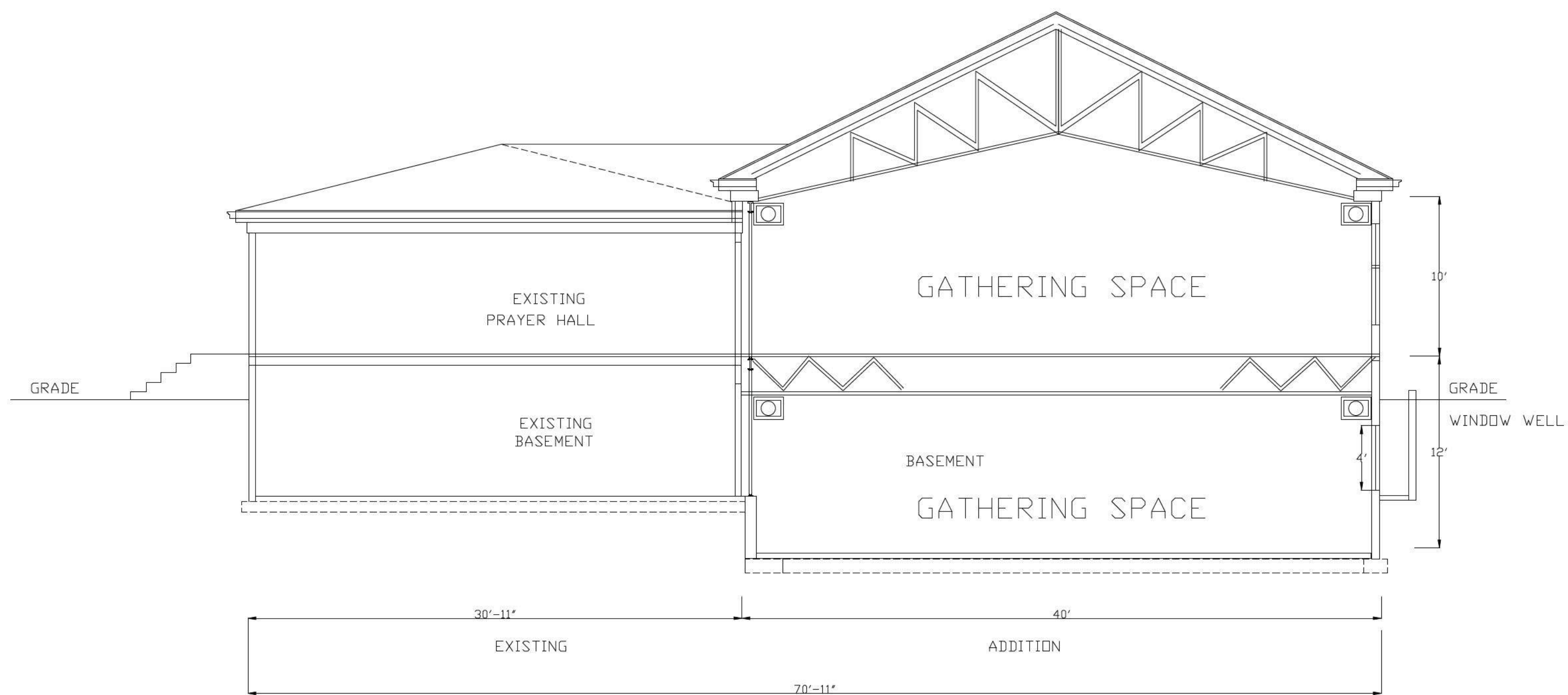
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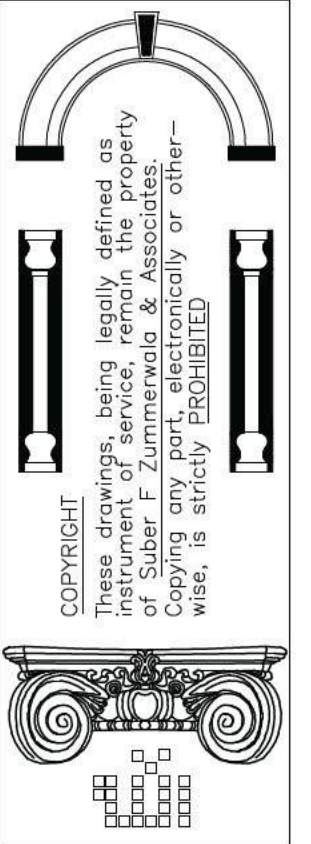
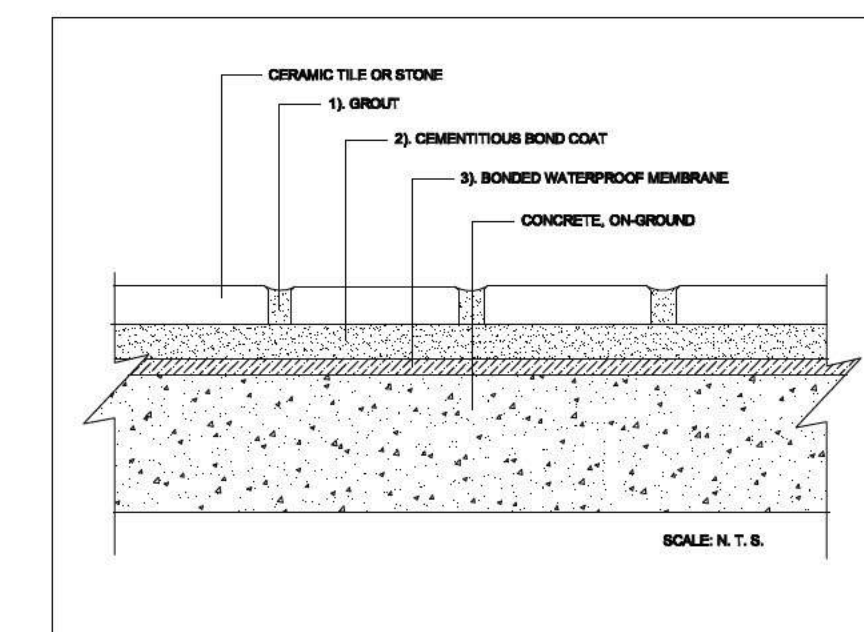
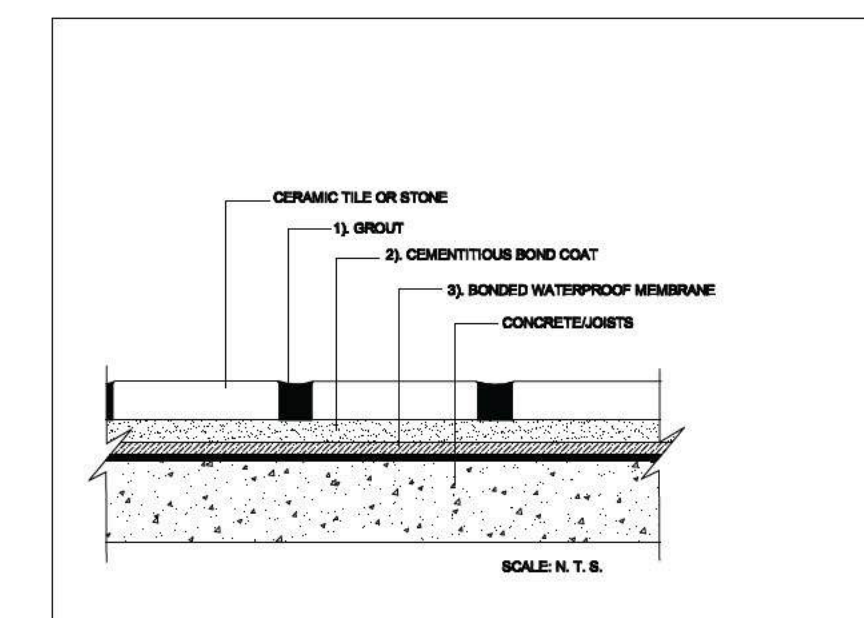
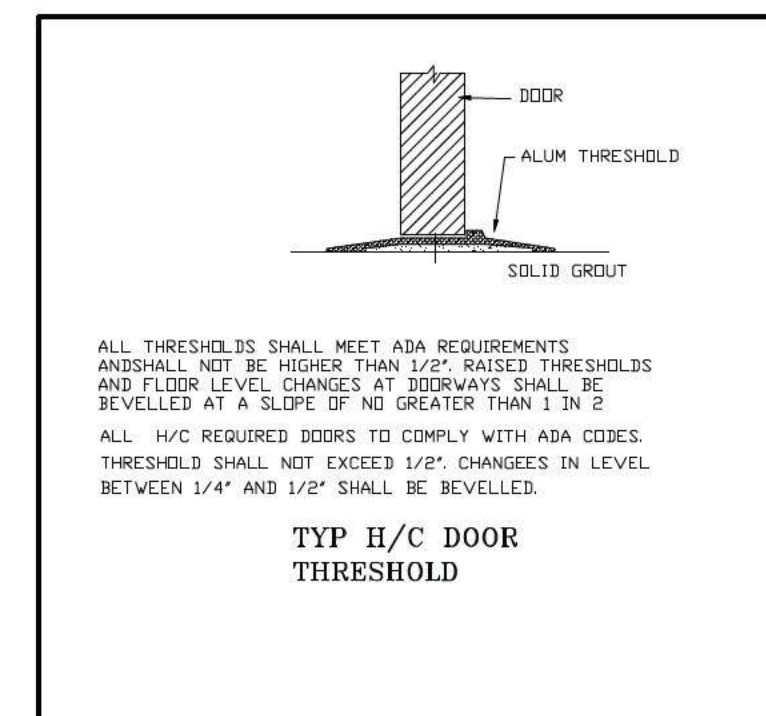
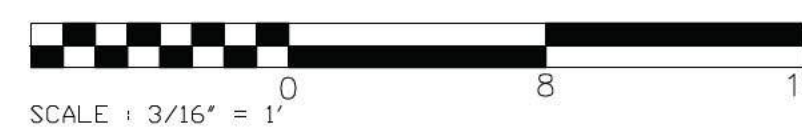
LEFT SIDE ELEVATION
SCALE : 3/16" = 1'



RIGHT SIDE ELEVATION
SCALE : 3/16" = 1'



SECTIONAL A-A
SCALE : 3/16" = 1'

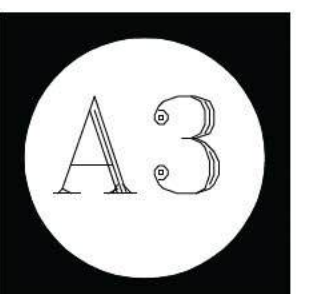


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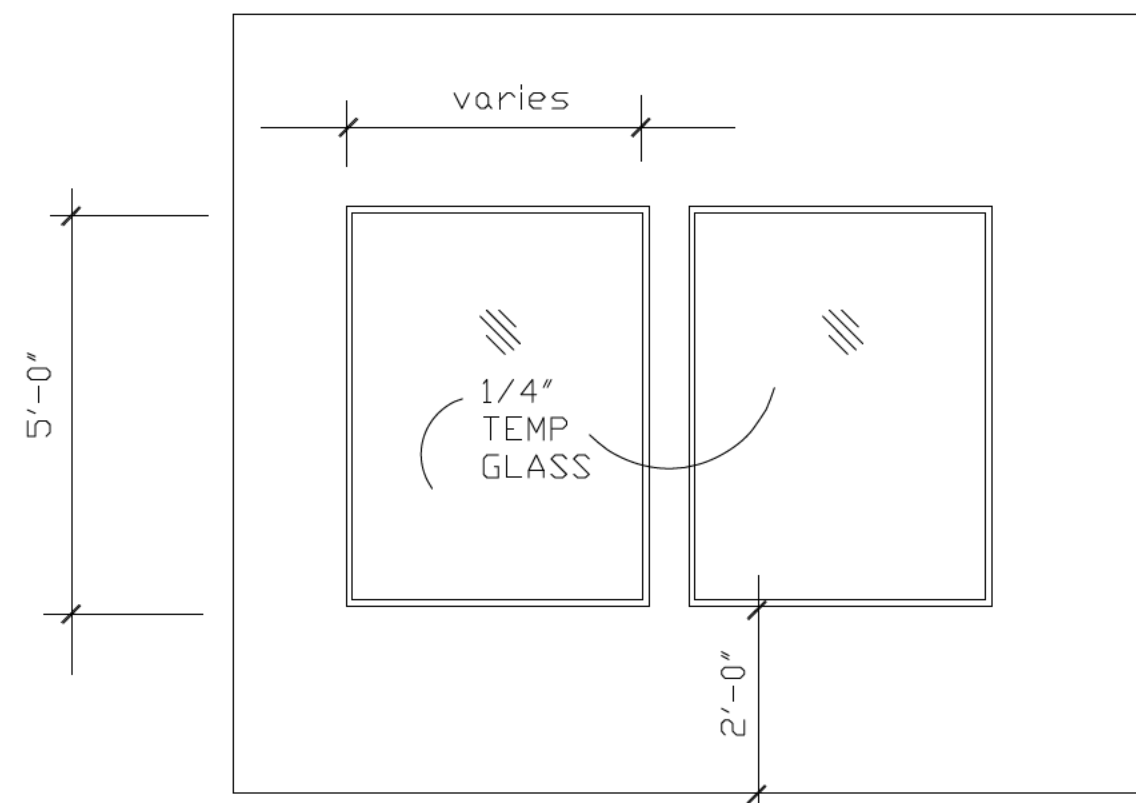
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AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

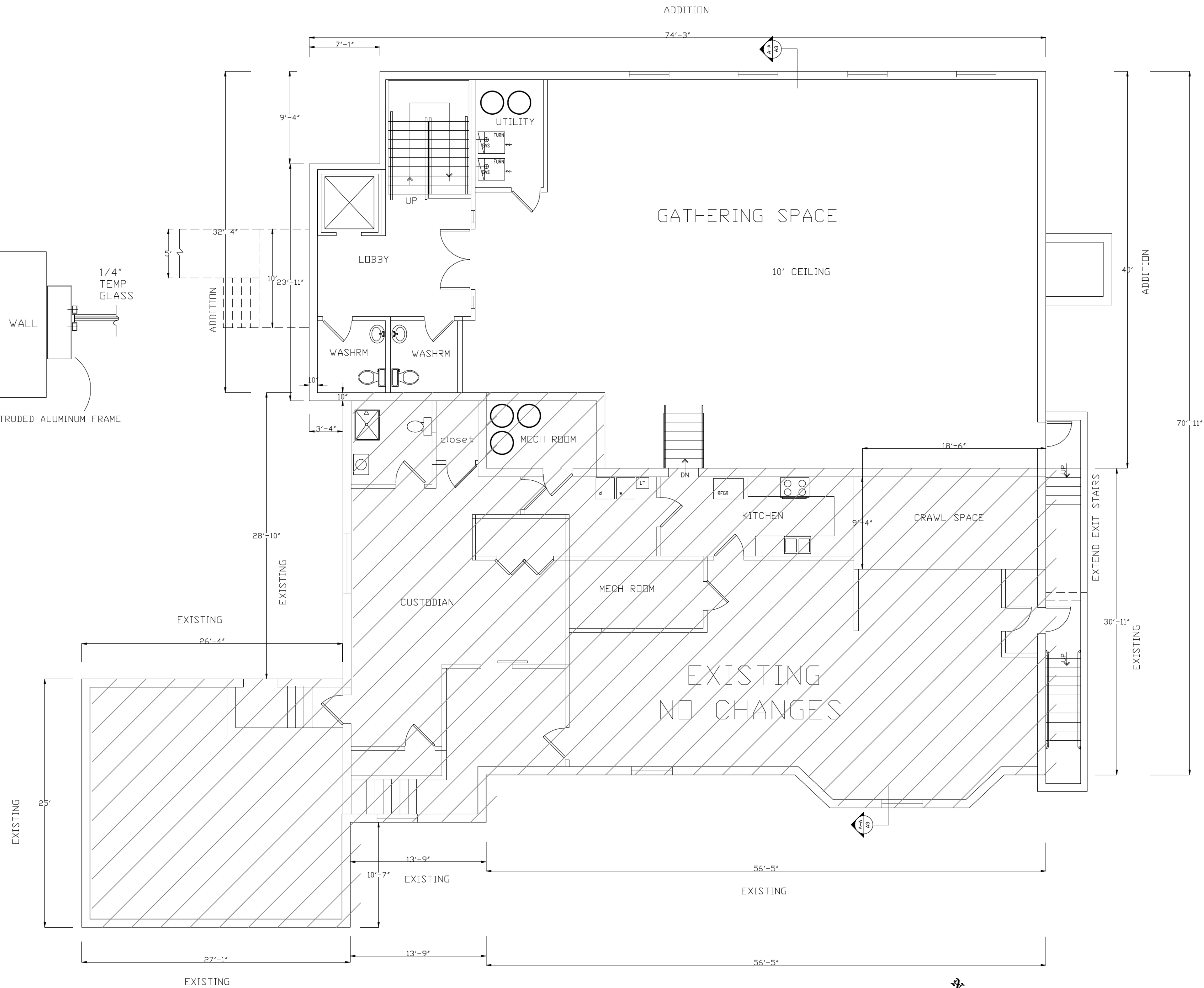
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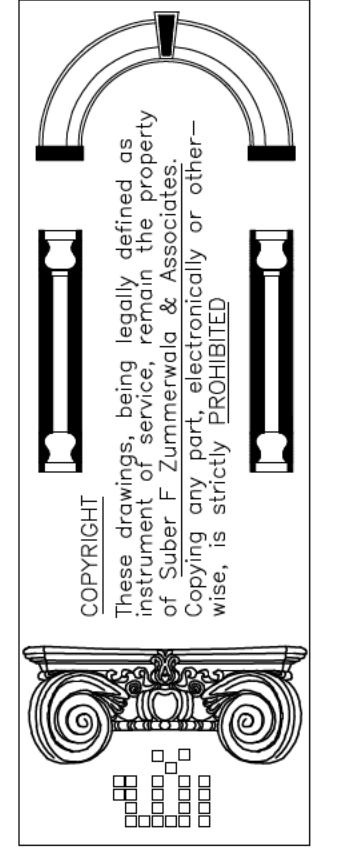
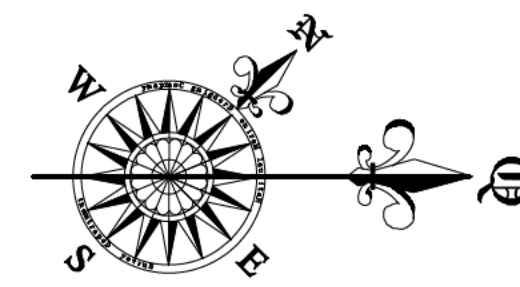
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WHERE INDICATED ON PLANS
TYP. INTERIOR WINDOW



BASEMENT PLAN
SCALE: 3/16" = 1'

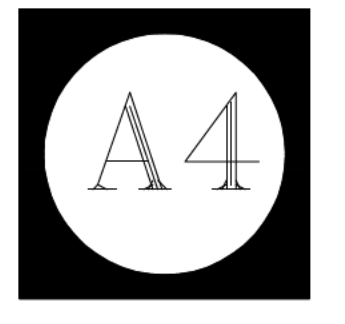


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NOTES

APPROVED FIRE DOOR AND FIRE SHUTTER ASSEMBLIES SHALL BE CONSTRUCTED OF MATERIAL OR ASSEMBLY OF COMPONENT MATERIAL THAT CONFORMS TO THE TEST REQUIREMENTS OF SECTION 715.3.1, 715.3.2 OR 715.3.3 AND THE FIRE PROTECTION RATINGS INDICATED IN TABLE 715.3. FIRE DOOR ASSEMBLIES AND SHUTTERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 80. ALL DOORS IN THE FIRE BARRIER WALLS SHALL BE RATED. DOORS THAT LEAD TO AREAS THAT MIGHT PROVE DANGEROUS TO A PERSON WHO IS VISUALLY IMPAIRED SHALL BE MADE IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE.

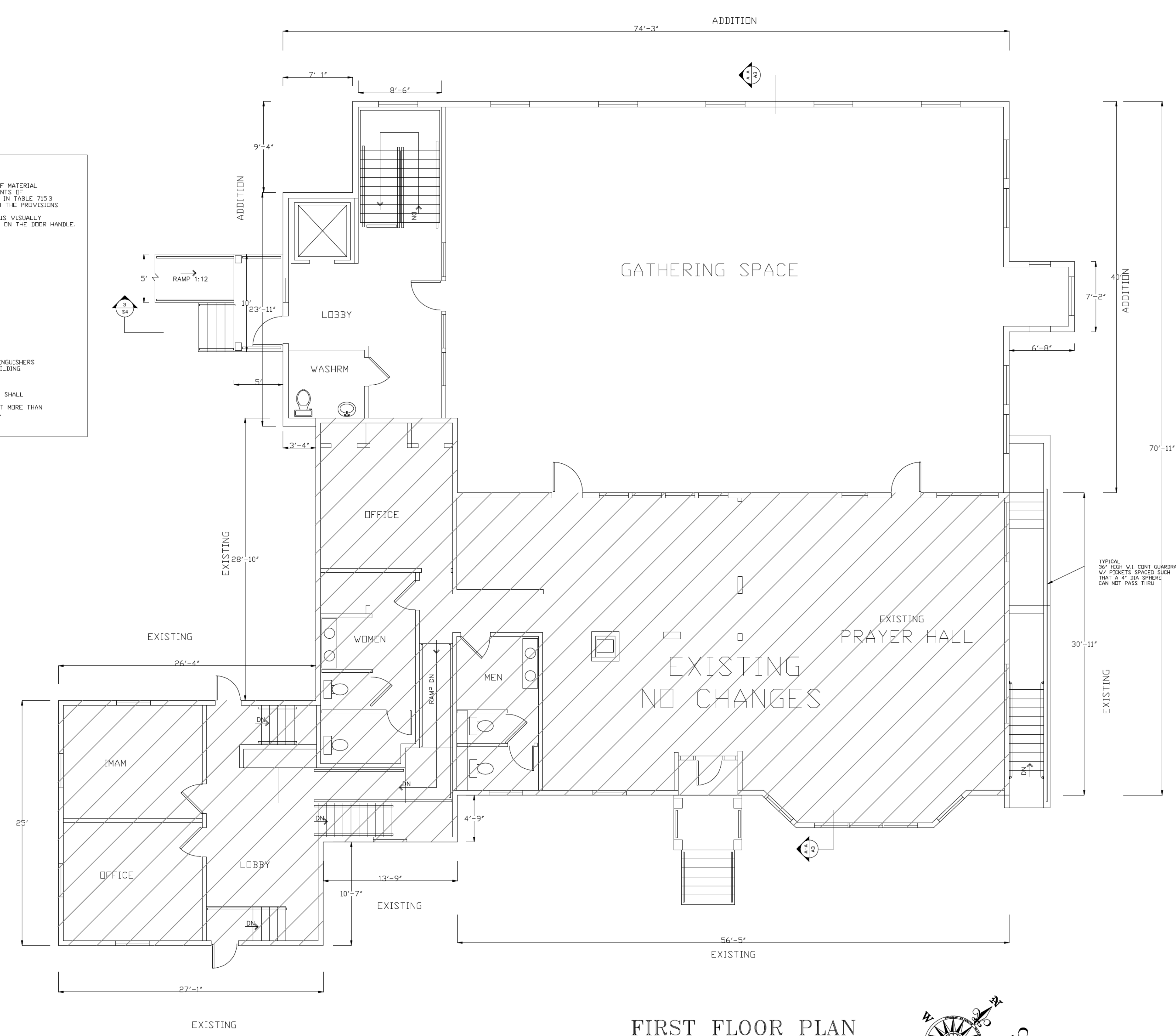
ALL EXIT DOORS SHALL BE INSTALLED WITH PANIC HARDWARE WITH DOOR LATCHING ASSEMBLY INCORPORATING A DEVICE WHICH CAUSES THE DOOR LATCH TO RELEASE AND THE LEAF TO OPEN WHEN A FORCE OF 15 POUNDS IS APPLIED IN THE DIRECTION OF EGRESS TO A BAR OR PANEL. THE ACTIVATING PORTION WHICH EXTENDS NOT LESS THAN ONE-HALF THE WIDTH OF THE DOOR LEAF, AND IS APPLIED AT A HEIGHT GREATER THAN 30" BUT NOT LESS THAN 44" ABOVE THE FLOOR.

ACCEPTABLE MANUFACTURERS:
 VION BURIN, MONARCH, NORDLIVED
 CONTRACTOR TO SUBMIT CUT SHEETS OF PANIC HARDWARE SYSTEM FOR APPROVAL.

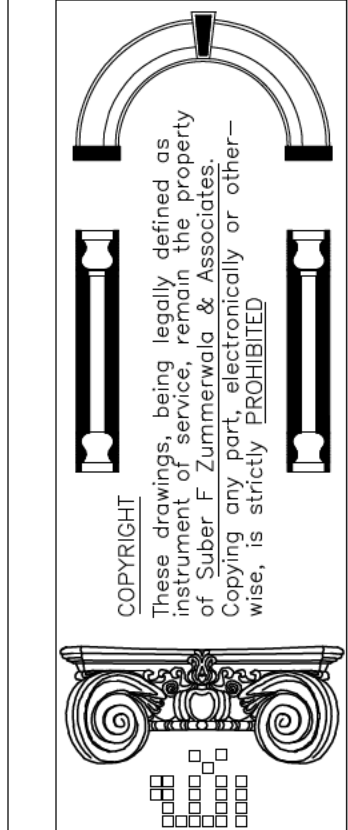
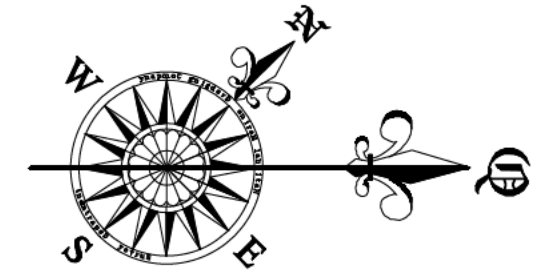
EVERY ASSEMBLY ROOM OR SPACE SHALL HAVE THE APPROVED OCCUPANCY LOAD POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN ENTRANCE TO THE ROOM OR SPACE. ROOMS OR SPACES WHICH HAVE MULTIPLE CAPABILITY USE SHALL BE POSTED AS SUCH.

INSTALL MINIMUM 2A10BC RATING, UL LABEL FIRE EXTINGUISHERS. ALL FIRE EXTINGUISHERS SHALL BE SECURELY MOUNTED TO THE WALL OR STRUCTURAL MEMBER OF THE BUILDING. TOP OF THE FIRE EXTINGUISHER TO BE NO MORE THAN 5', AND BOTTOM TO BE MINIMUM 2' ABOVE THE FINISH FLOOR.

WHERE MOUNTED ON STRUCTURAL MEMBER, A ONE FOOT WIDE BAND OF RED PAINT SHALL BE APPLIED TO THE STRUCTURAL MEMBER.
 A MINIMUM OF 10" ABOVE FINISH FLOOR. FIRE EXTINGUISHERS SHALL NOT PROJECT MORE THAN 4" OUT FROM THE WALLS AND COLUMNS WHEN LOCATED IN PATH OF CIRCULATION.



FIRST FLOOR PLAN
 SCALE: 3/16" = 1'

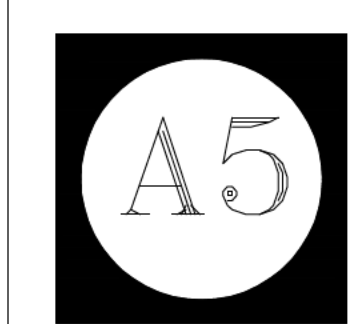


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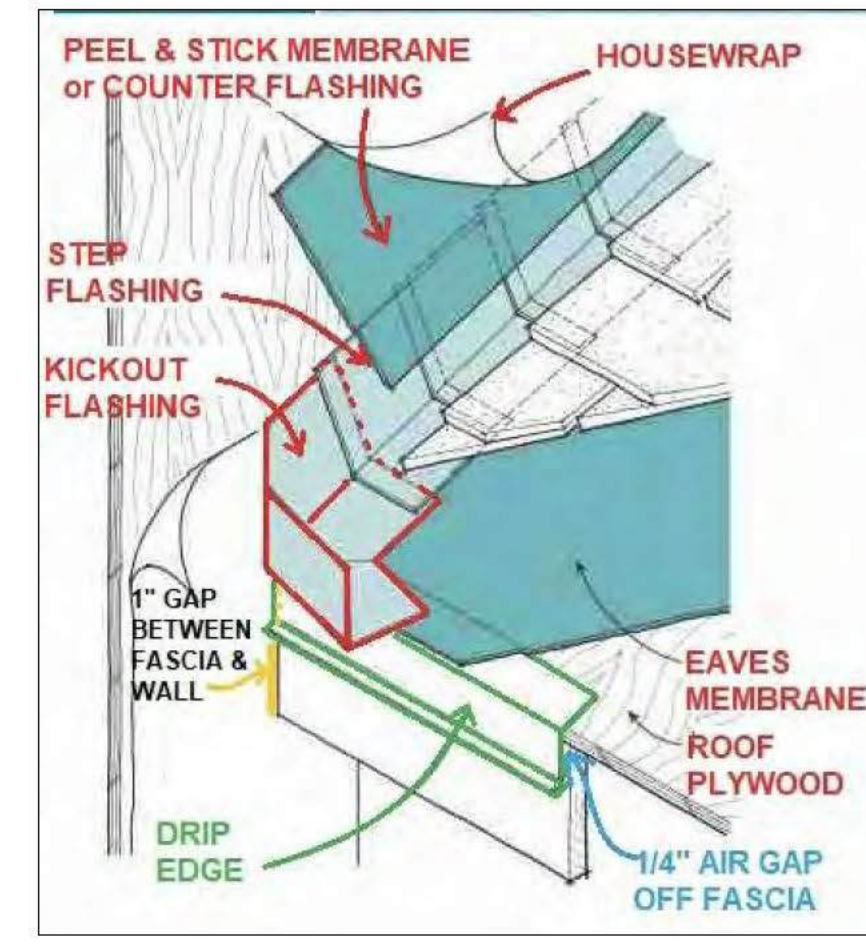
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AL-AZHAR ISLAMIC FOUNDATION
 160 HAWTHORNE ROAD
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TYP ROOF CONSTRUCTION

240# ASPHALT ROOF SHINGLES-SEAL TAB
15# ROOFING FELT
5/8" CDX PLYWOOD SHEATHING
WOOD ROOF TRUSSES @ 24" O.C.
R-49 INSULATION W/ VAPOR BARRIER
5/8" TYPE "X" DRYWALL CEILING

PROVIDE MIN 1" AIR SPACE BETWEEN EACH RAFTERS FOR VENT. RAFTER BAFFLES TO BE LOCATED IN EACH RAFTER OR TRUSS BAY AND SHALL BE ADJACENT TO SOFFIT AND EAVE VENTS

TYP EAVE/SOFFIT

2X8 FASCIA BOARD
CONT ALUMINUM GUTTER AND DOWN SPOUT TO SPLASH BLOCK
5/8" CDX PLYWOOD SOFFIT W/ SCREENED VENTS @ 6" O.C.
FREEZE BOARD

TYP WALL CONSTRUCTION

6" 16ga STEEL STUDS @ 24" O.C.
R-20 INSULATION WITH VAPOR BARRIER
CONT. 5/8" PLYWOOD SHEATHING
TYVEK BUILDING WRAP
STEEL SIDING (INSTALL PER MANUFACTURER)
5/8" INTERIOR DRYWALL

HOUSE WRAP TO BE SECURED WITH CAP FASTENERS OR ALL STAPLES SHALL BE TAPED.

TYP FLOOR CONSTRUCTION

TYPICAL
1 1/2" 22GA METAL DECK
TYPE B, WITH 3" PUDDLE WELDS @ 12" O.C.
5/8" DRYWALL CEILING

CONT BOTTOM TRACK WITH SILL SEALER AND 1/2" DIA, 10" L ANCHOR BOLTS W/ NUT AND WASHER @ 4' O.C. 7' INTO CONCRETE, MIN. 2" PL & 12" MAX @ CORNERS

CONT FLASHING @ 6" MIN

TYP FONDATION WALL

POURED CONCRETE FOUNDATION WALL WITH #4S CONT TOP AND BOTTOM ASPHALT DAMPROOFING

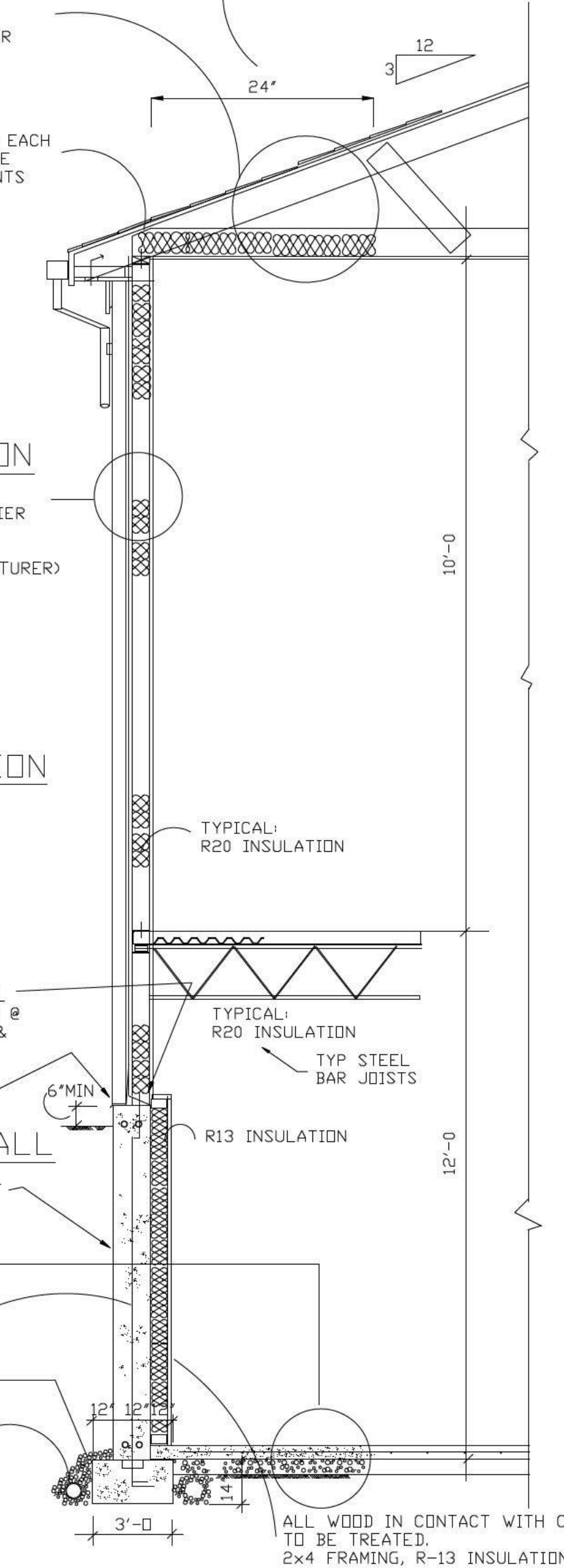
4" CONCRETE SLAB W/ 6X6, 10 GA W/M OVER 4" MIN GRAVEL AND 6 MIL VAPOR BARRIER

#6 REBAR @ 21" O.C.

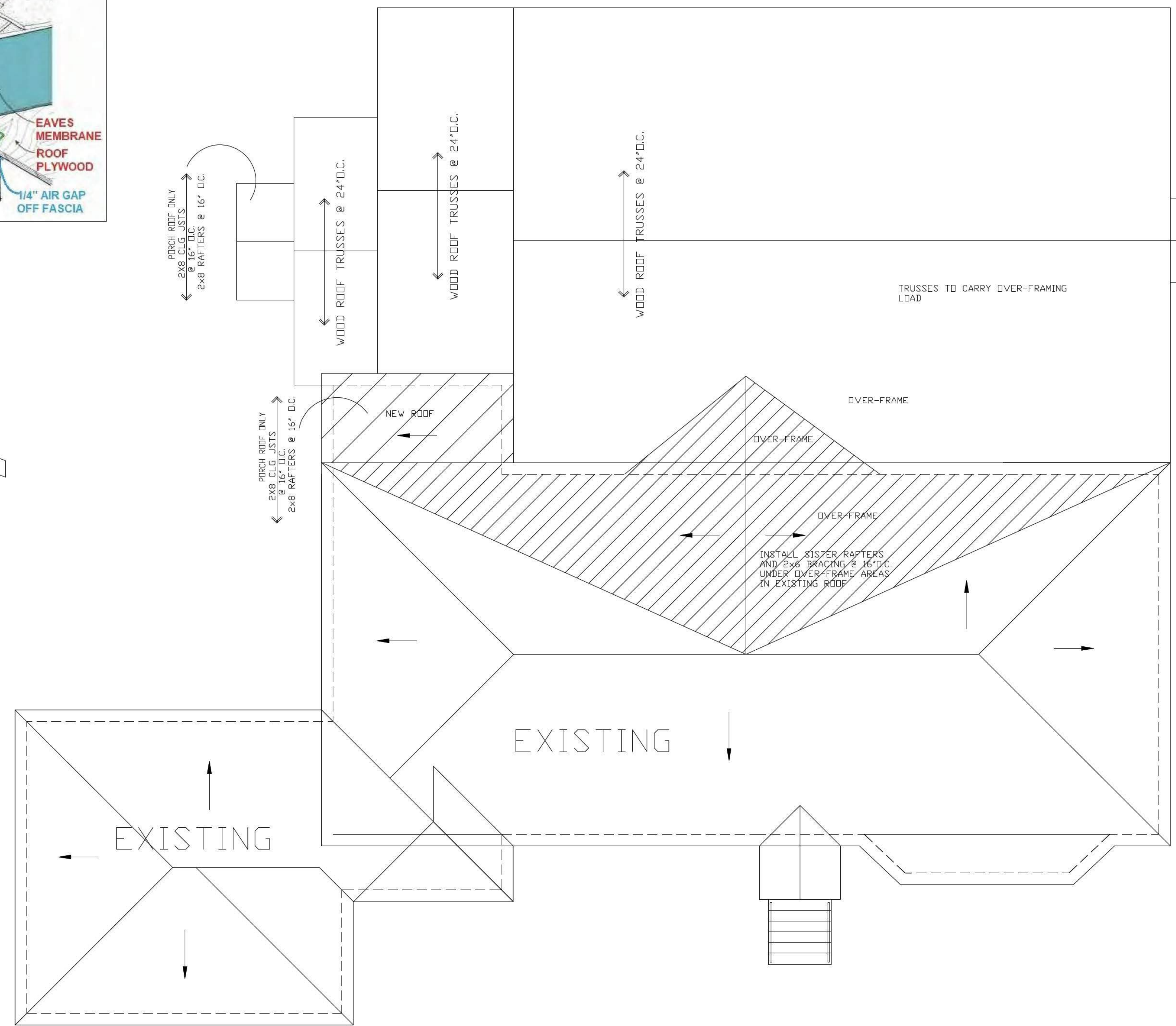
CONT POURED CONCRETE STRIP FOOTING W/ 2X4 CONT KEY

CONT PERIMETER 4" DRAIN TILE IN 8" WASHED STONE AND MIN 12" STONE COVER, BUILDING PAPER OVER TILE

INSTALL CONT ICE SHIELD UNDER THE ROOFING SHINGLES W/ MIN 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A WATERPROOF MEMBRANE EXTENDING FROM THE EAVE EDGE TO MIN 24" INSIDE OF EXTERIOR WALLS
ALL WALL TOP PLATES TO BE LAPPED AT CORNERS



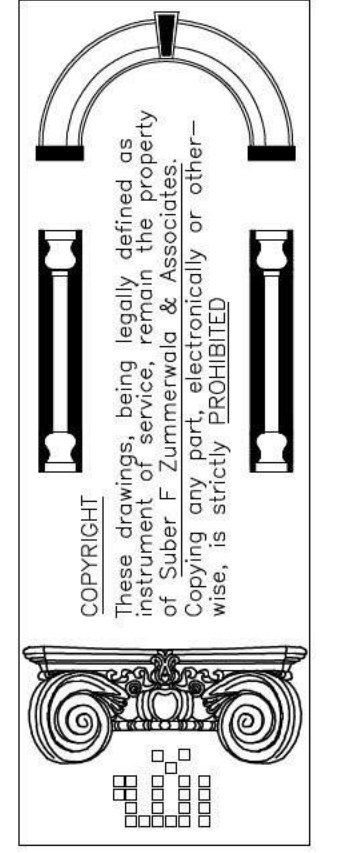
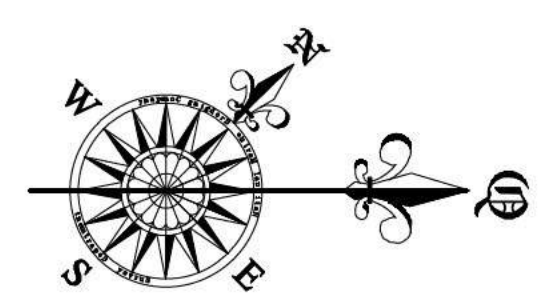
2 TYP WALLSECTION @ SIDING
NTS



ROOF PLAN



SCALE: 3/16" = 1'

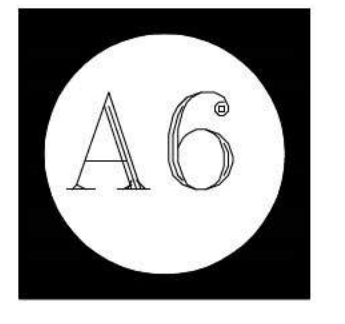


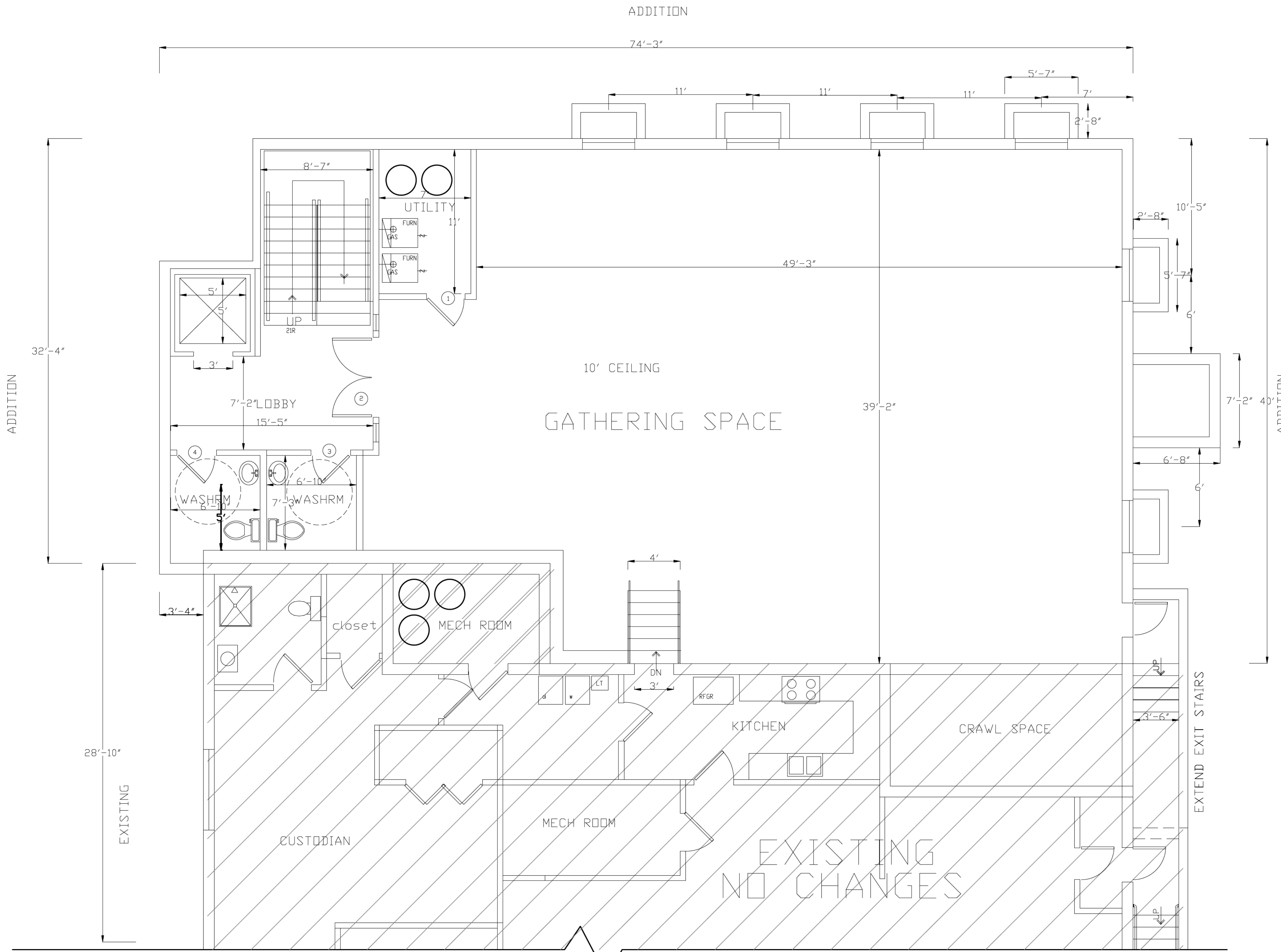
Suber F Zimmerwald & Associates
ARCHITECTS & PLANNERS
333 W. Ining Park Road, Suite # 202
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P H / F X 6 3 0 . 3 5 1 . 1 5 9 3
DESIGN FIRM LIC. NO. 184.004407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

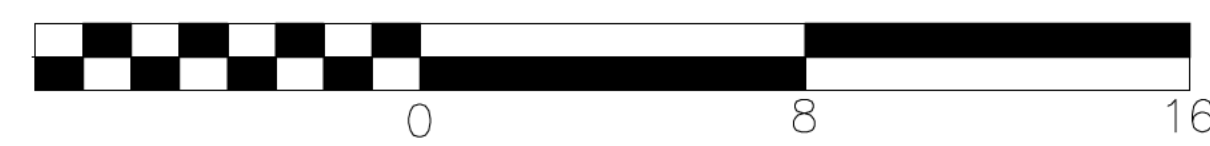
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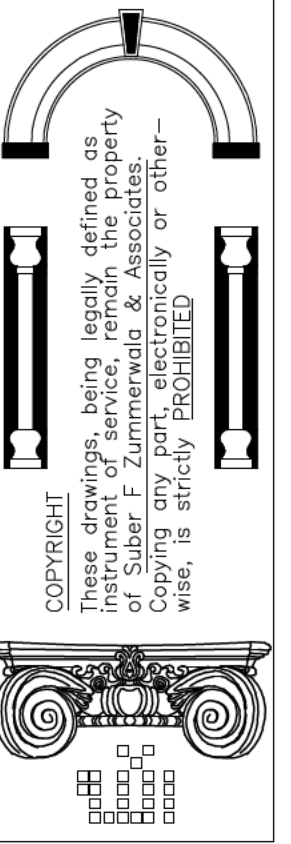
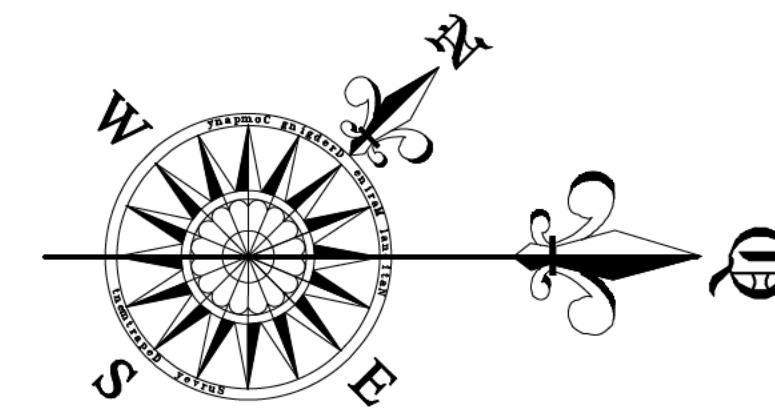




BASEMENT PLAN



SCALE: 1/4"=1'

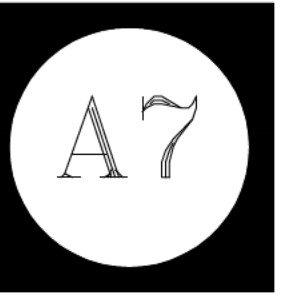


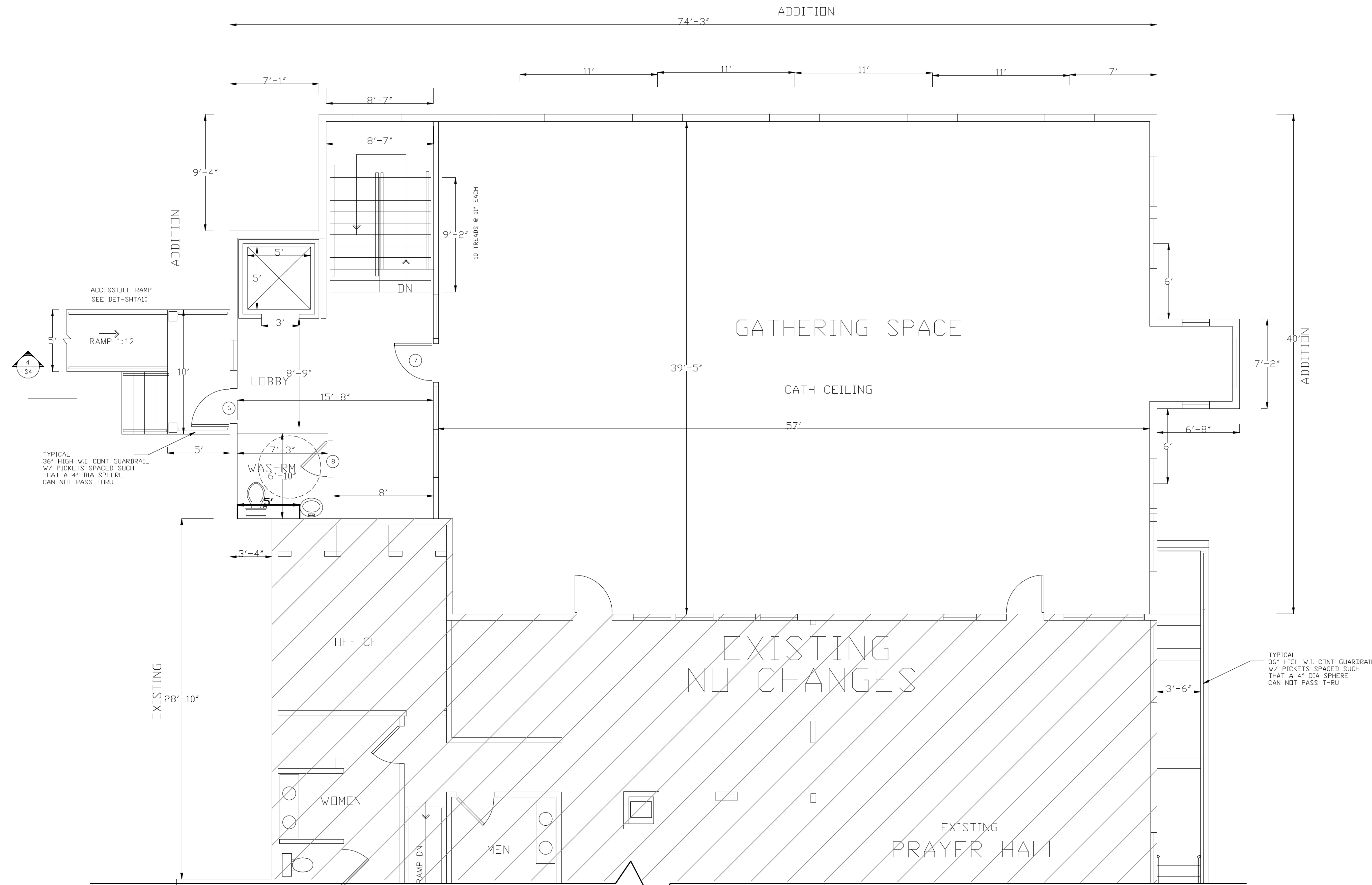
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 Roseville, IL 60172
 PH: 847.951-0472
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ACCESSIBLE RAMP
SEE DET-SHTA10

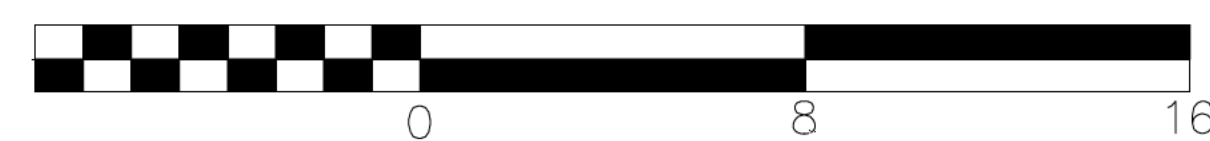
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4
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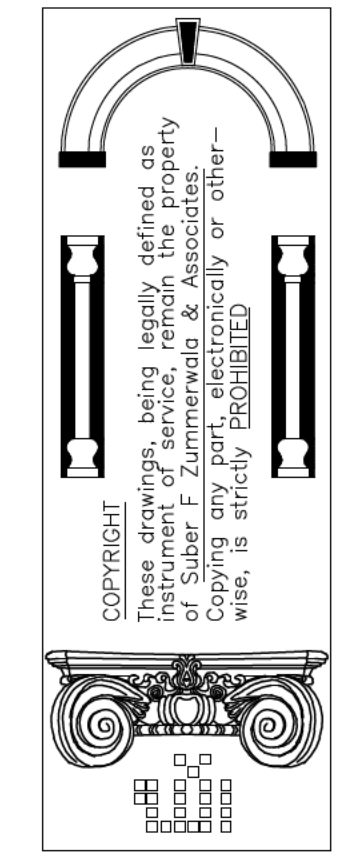
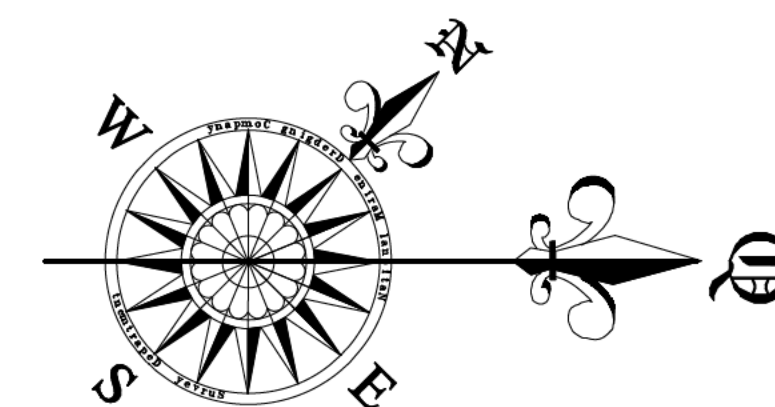
TYPICAL
36" HIGH W.I. CONT GUARDRAIL
W/ PICKETS SPACED SUCH
THAT A 4" DIA SPHERE
CAN NOT PASS THRU

TYPICAL
36" HIGH W.I. CONT GUARDRAIL
W/ PICKETS SPACED SUCH
THAT A 4" DIA SPHERE
CAN NOT PASS THRU

FIRST FLOOR PLAN



SCALE: 1/4"=1'

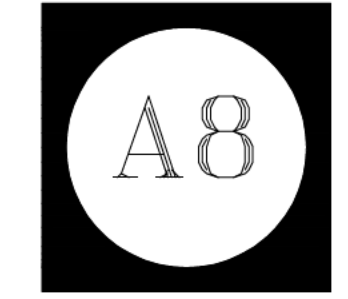


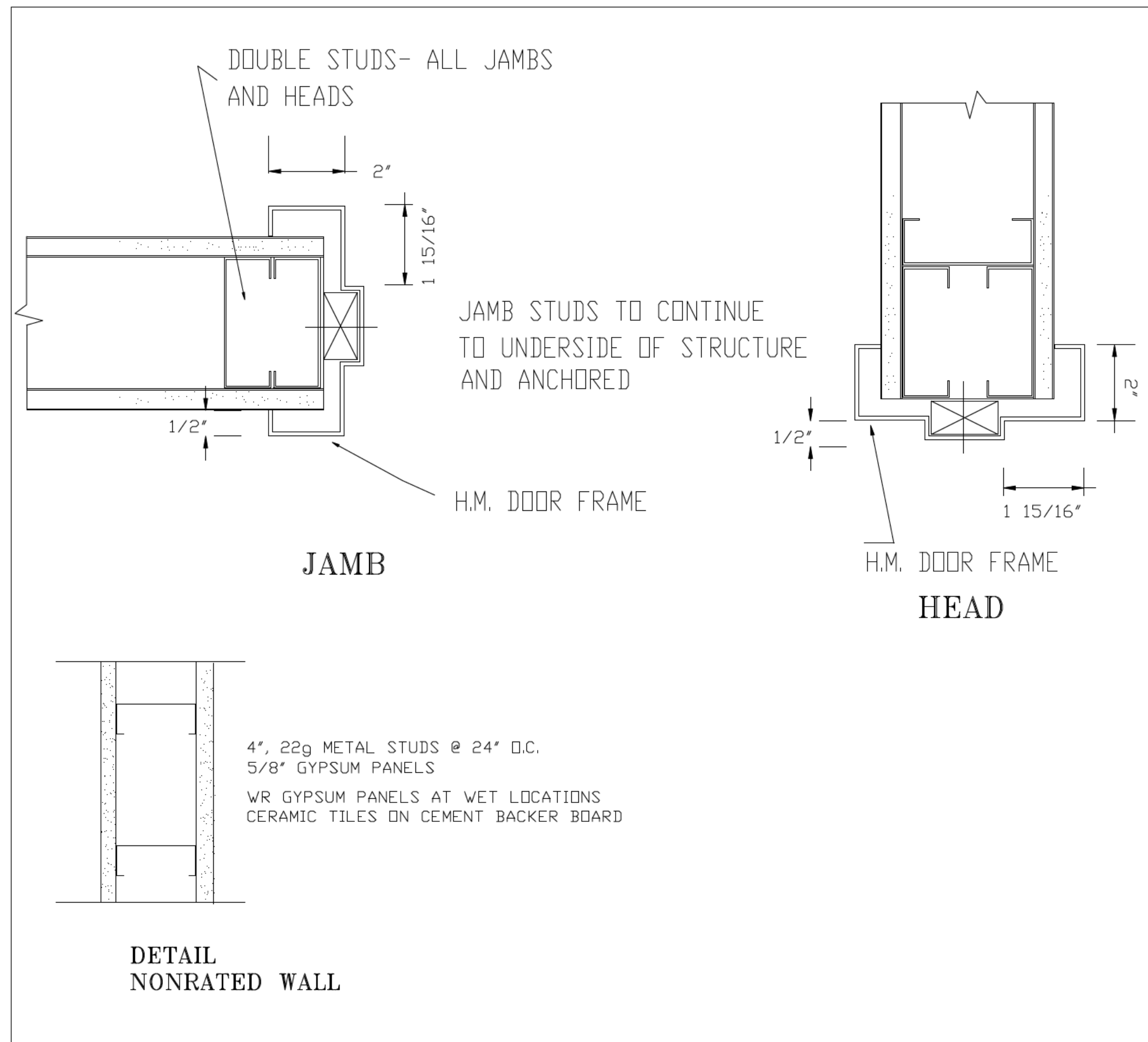
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DOOR SCHEDULE

	SIZE	MATERIAL	FRAME	HDWR	REMARKS
1	3'-0" X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	2 3 5	B LABEL KNURLED HANDLE
2	3'-0" X 7'-0"	ALUMINUM AND TEMP GLASS	ALUMINUM	3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.
3	3'-0" X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
4	3'-0" X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
5	3'-0" X 6'-8"	INSULATED METAL	STEEL	3 5 6 7	TO MEET EXIT REQUIREMENTS.
6	3'-0" X 7'-0"	ALUMINUM AND TEMP GLASS	ALUMINUM	3 5 6 7	TO MEET EXIT AND HANDICAP REQUIREMENTS.
7	3'-0" X 7'-0"	ALUMINUM AND TEMP GLASS	ALUMINUM	3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.
8	3'-0" X 6'-8"	SOLID CORE WOOD	HOLLOW METAL	1 3 5	TO MEET HANDICAP REQUIREMENTS.
9	EXISTING 3'-0" X 7'-0"	ALUMINUM AND TEMP GLASS	ALUMINUM	1 3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.
10	EXISTING 3'-0" X 7'-0"	ALUMINUM AND TEMP GLASS	ALUMINUM	1 3 5	TO MEET EXIT AND HANDICAP REQUIREMENTS.

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE COVERED	WALLS	CEILING	REMARKS
GATHERING SPACE	V.T.	VYNIL COVERED	D.W.	D.W.	
WASHRM	C.T.	C.T. COVERED	D.W.	D.W.	
WASHRM	C.T.	C.T. COVERED	D.W.	D.W.	
UTILITY RM	V.T.	VYNIL COVERED	D.W.	D.W.	
LOBBY	C.T.	WOOD COVERED	D.W.	D.W.	
GATHERING SPACE	CPT	WOOD COVERED	D.W.	D.W.	
LOBBY	C.T.	WOOD COVERED	D.W./GL	D.W.	
WASHRM	C.T.	C.T. COVERED	D.W.	D.W.	

FINISH LEGEND:

AC1= SMOOTH PLASTIC TILES
 AC2= ACUSTICAL CLG TILES
 D.W.= DRY WALL-GYPSUM BBS
 C.T.= CERAMIC TILES
 G.T.= QUARY TILES
 PTD= PAINTED
 V.T.= VYNIL TILES
 WR= WATER RESISTANT
 FRP= FIBER REINFORCED PANELS
 ALL VINYL TILES & BASE TO BE COMMERCIAL GRADE
 MINIMUM 1/8" THICKNESS.

ROOM FINISH NOTES

- INSTALL WR TYPE DRYWALL AT ALL LOCATIONS WHERE MOISTURE MAY BE PRESENT
- ALL DRYWALLS TO BE PAINTED. COLOR TO BE SELECTED BY OWNERS. PAINT TO BE OIL BASE-ENAMEL ONLY
- PROVIDE A MIN. OF 4" COVING BASE AT ALL FLOOR AND WALL JUNCTURES. ALL INTERIOR WALLS TO BE 1/2" METAL STUDS @ 16" O.C., AND 1/2" DRYWALL (G.U.N.D.).
- PROVIDE A MIN. OF 6" COVING BASE AT ALL FLOOR AND WALL JUNCTURES.
- FLAME SPREAD RATING FOR ALL INTERIOR FINISHES TO BE 16-20.

DOOR HARDWARE NOTES

- 1 PRIVACY LATCH SET
- 2 KEYED ENTRY LOCK
- 3 PUSH & PULL
- 4 KICK PLATE
- 5 AUTOMATIC CLOSER
- 6 ALUMINUM THRESHOLD
- 7 WEATHERSTRIP-PERIMETER

ALL HARDWARE TO BE COMMERCIAL TYPE, HEAVY DUTY
 INSTALL ALL HARDWARE ITEMS AS REQUIRED

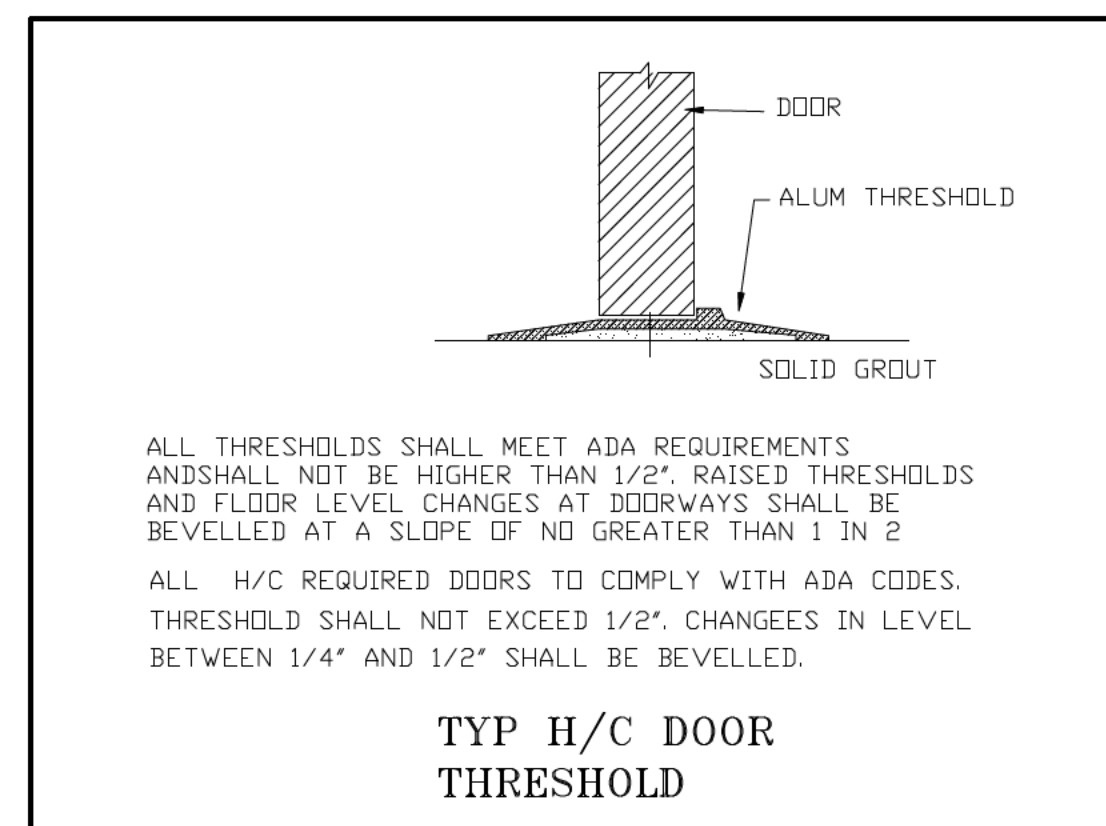
HINGES- ALL DOORS MIN 1-1/2" PAIR HAGER
 LOCKSETS- SCHLAGE -HEAVY DUTY, COMMERCIAL
 AUTOMATIC CLOSERS-LCN 1481 ALUMINUM
 FLOOR STOPS-HAGER 241,US28
 ALL GLASS WITHIN 48" OF ANY DOORS TO BE SAFETY GLASS
 PAINT ALL FRAMES TO MATCH DOORS.
 PULL PLATES-HAGER 4X16,H33E,US28
 PUSH PLATES-HAGER, 4X16,305,US28
 PROVIDE POSITIVE LATCH SET
 ALL H/C REQUIRED DOORS TO COMPLY WITH IAC 400.310(J)(8).

ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.

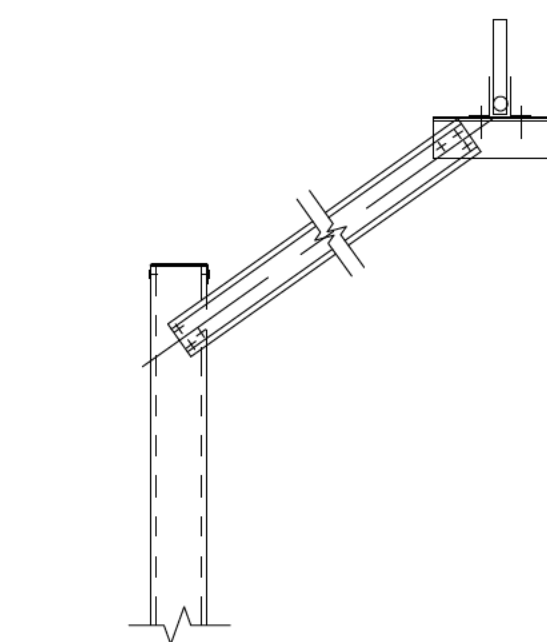
SWINGING DOORS SERVING ROOMS OR SPACES WITH OCCUPANT LOAD OF 50 OR MORE IN A GROUP A OCCUPANCY SHALL NOT BE PROVIDED WITH A LATCH OR LOCK OTHER THAN PANIC HARDWARE OR FIRE EXIT HARDWARE.

DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

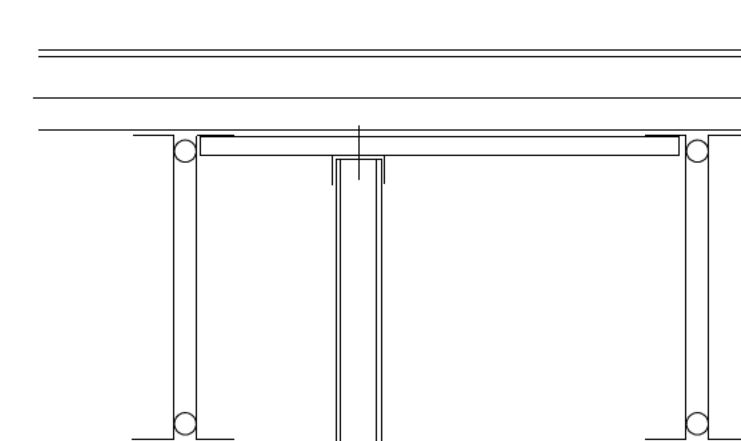
SIGN STATING EXIT IN VISUAL CHARACTERS, RAISED RAISED CHARACTERS AND BRAILLE SHALL BE PROVIDED ADJACENT TO EXIT DOOR



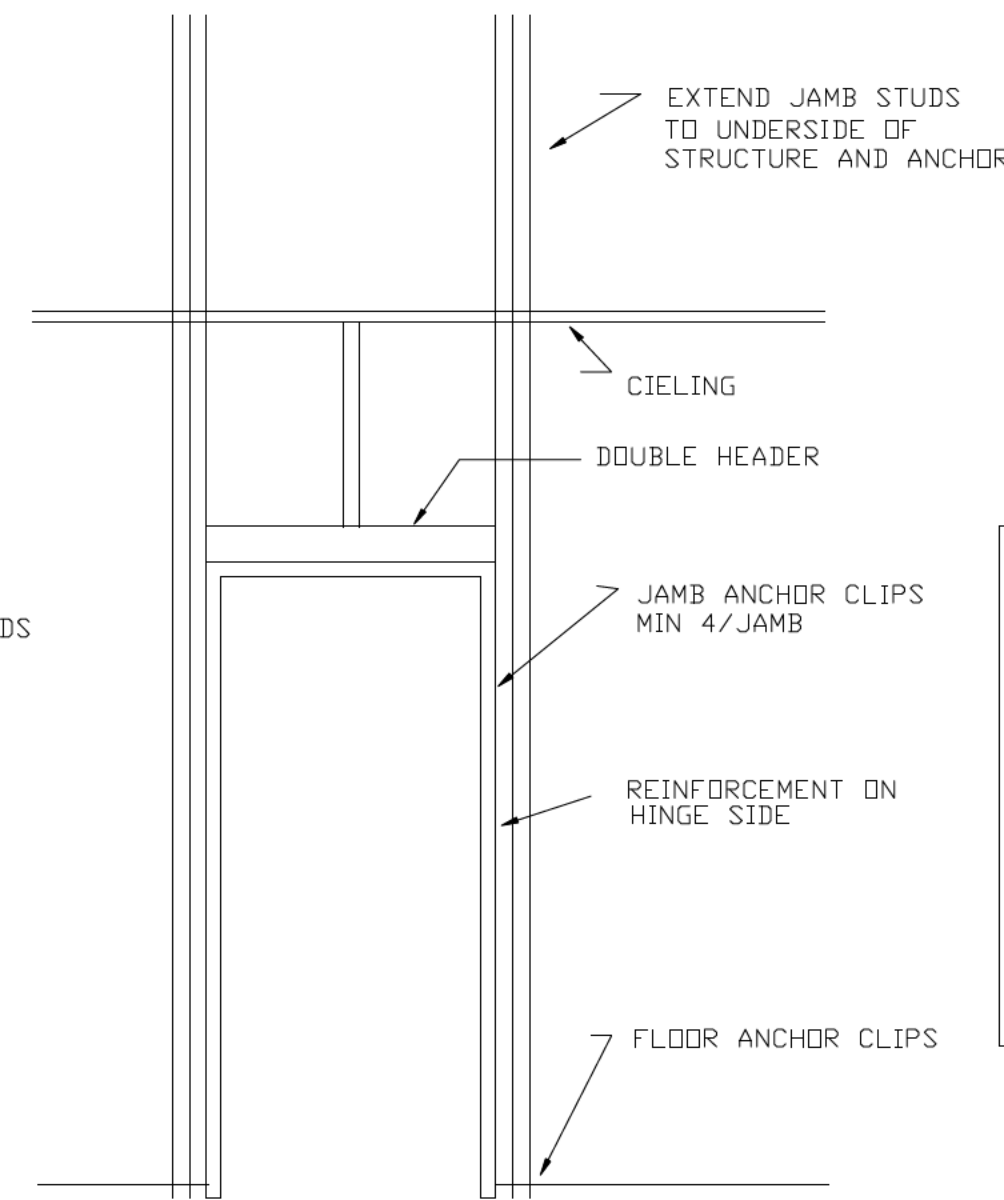
TYP H/C DOOR THRESHOLD



Non-Load Bearing STUDS ANCHORAGE

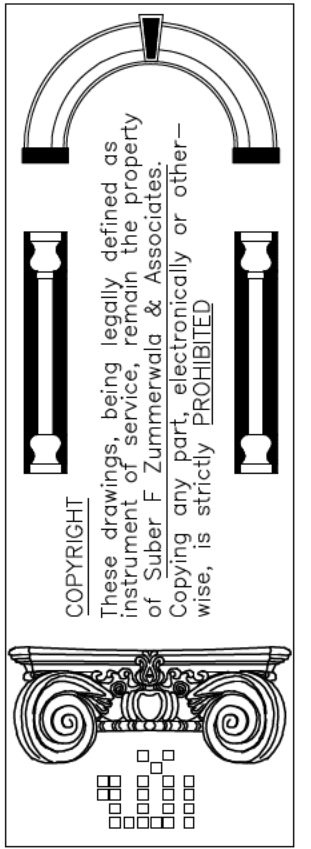


EXTEND JAMB AND CORNER STUDS TO UNDERSIDE OF STRUCTURE AND ANCHOR
 PARTITION WALLS TO RESIST MINIMUM 5lbs LATERAL LOAD



TYP. DOOR FRAMING

ALL TOILETS, URINALS, HAND SINKS, MOP SINKS, PREP SINKS AND PERMANENT COUNTER/ CABINETS MUST BE SEALED TO FLOORS AND WALLS WITH A SILICONE CAULK SEALANT.
 INSTALL ANTI-SIPHON DEVICES ON ALL TOILET TANKS, URINALS, AND FAUCETS WITH HOSE CONNECTIONS. INSTALL SOAP AND PAPER TOWEL DISPENSER AND DISPOSAL FOR ALL HAND SINKS.
 IF SINKS ARE PROVIDED WITH SPRING- LOADED FAUCETS, THE FAUCETS MUST REMAIN RUNNING FOR A MINIMUM OF 15 SECONDS.

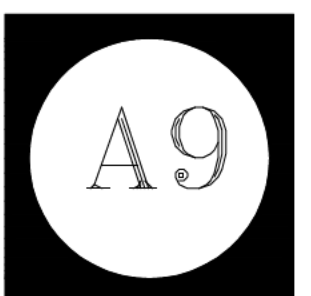


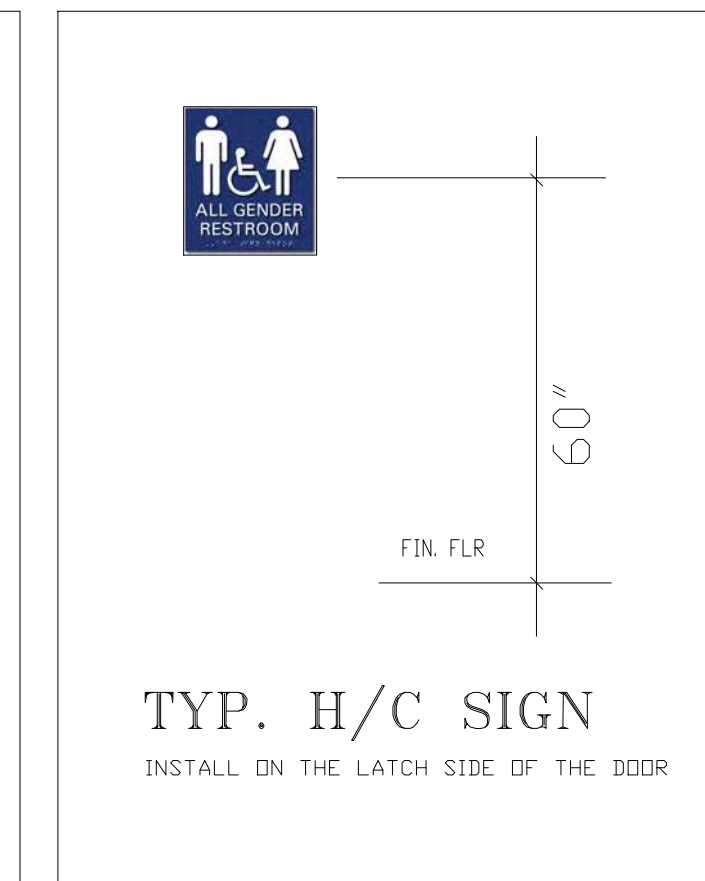
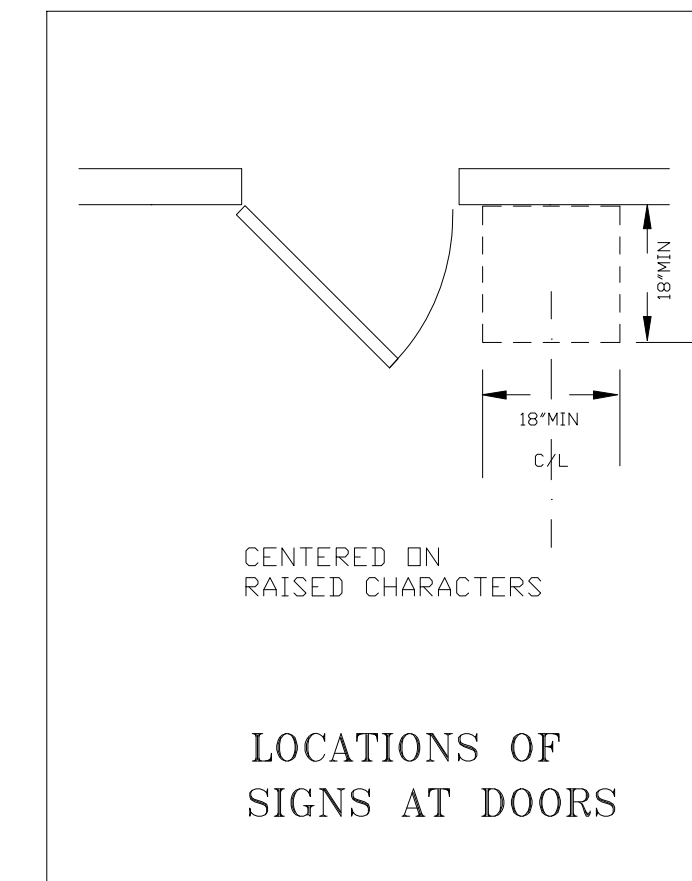
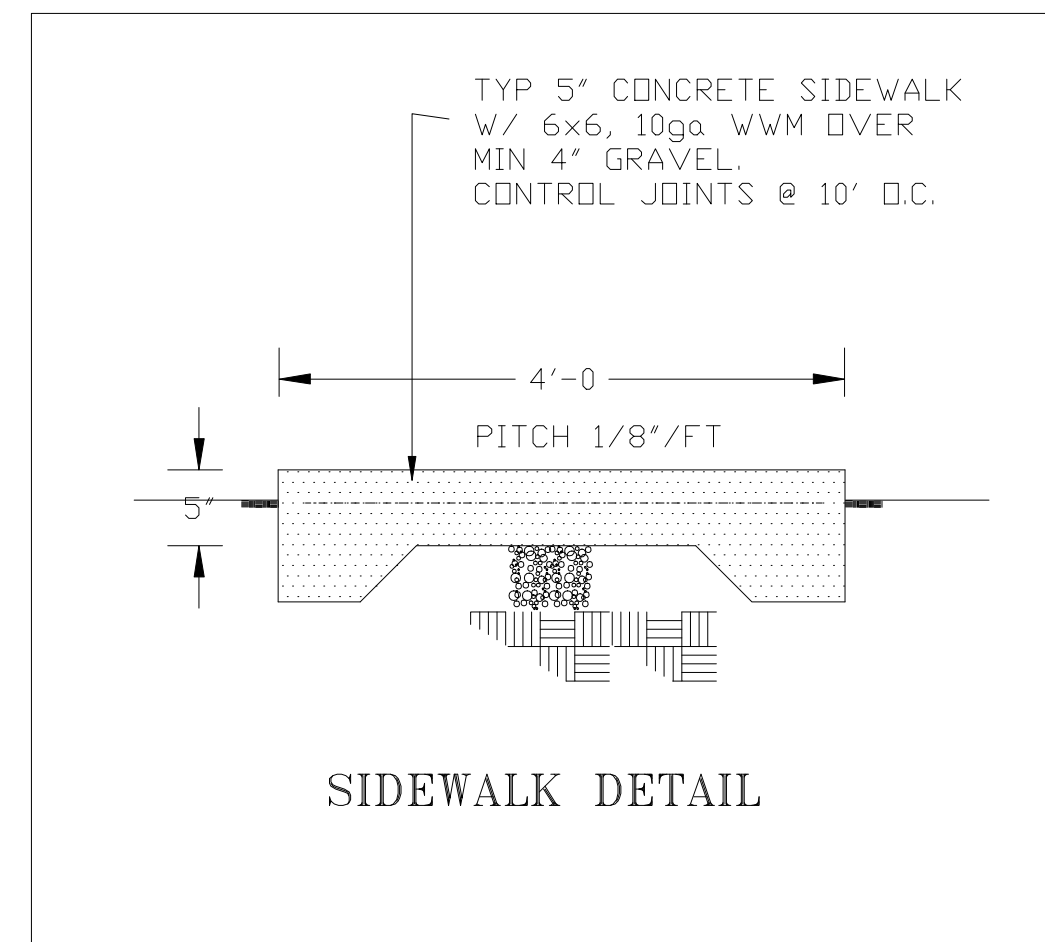
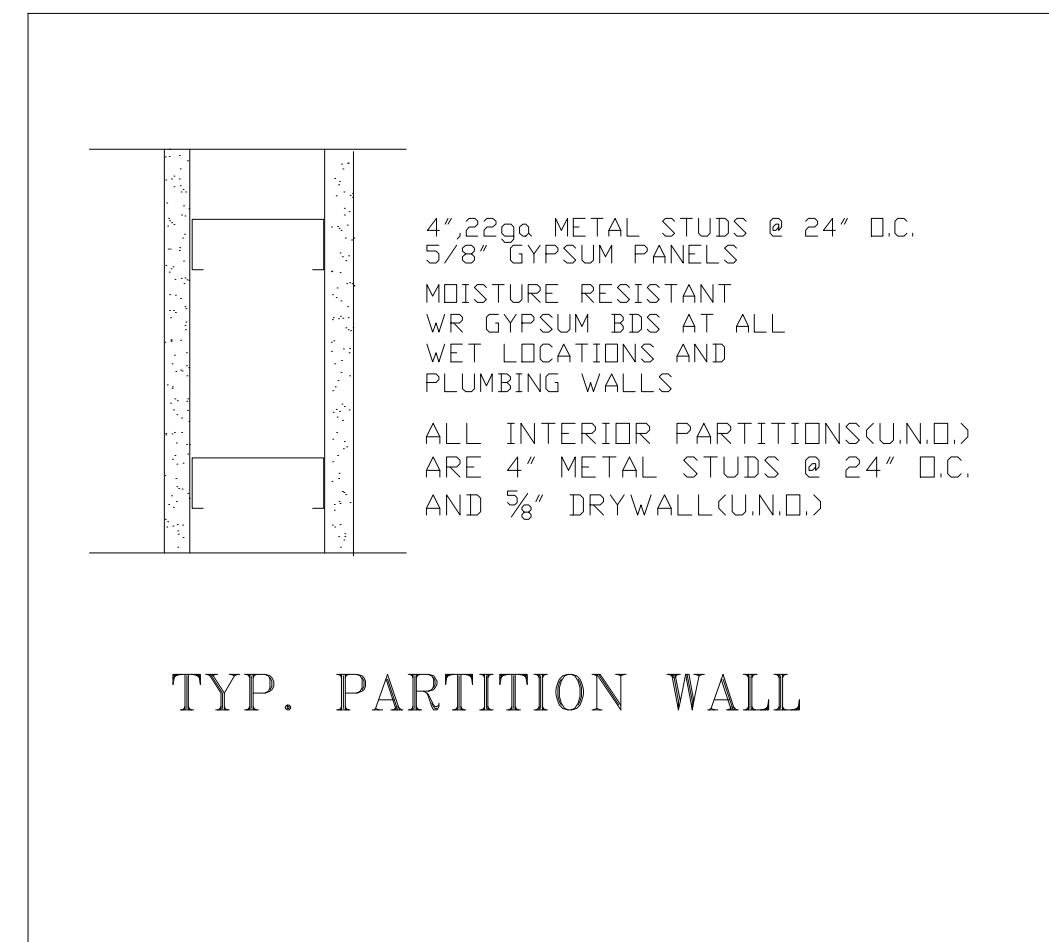
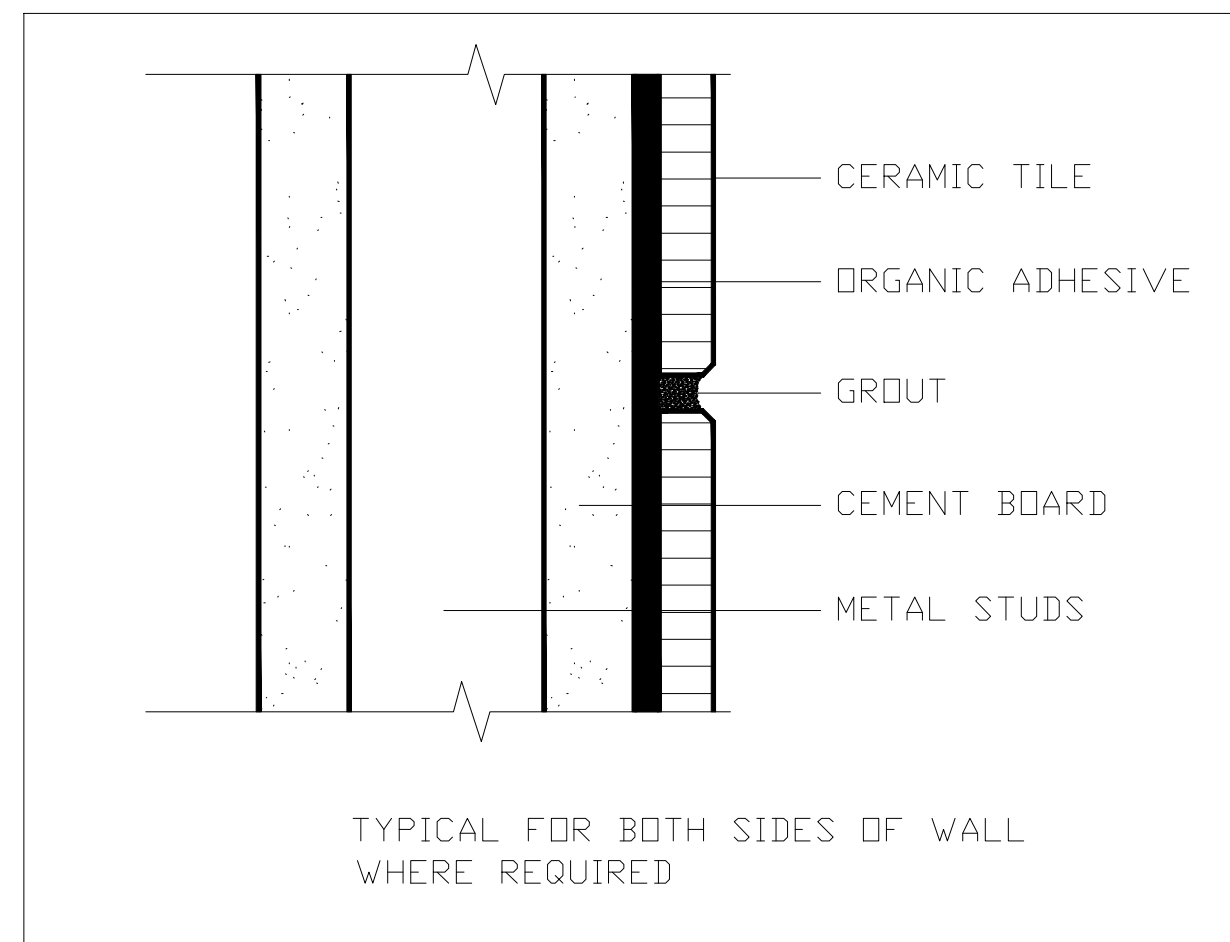
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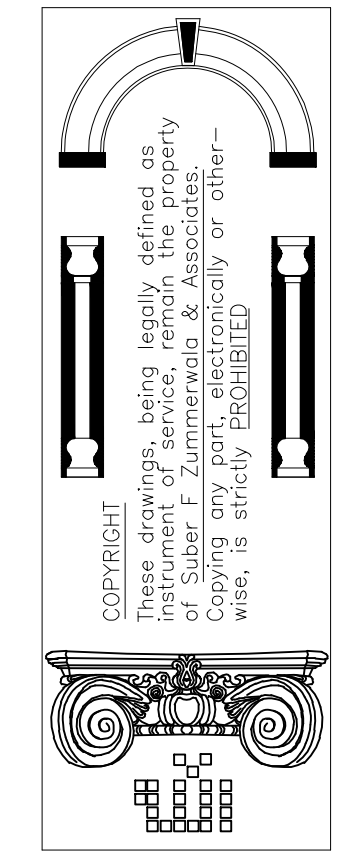
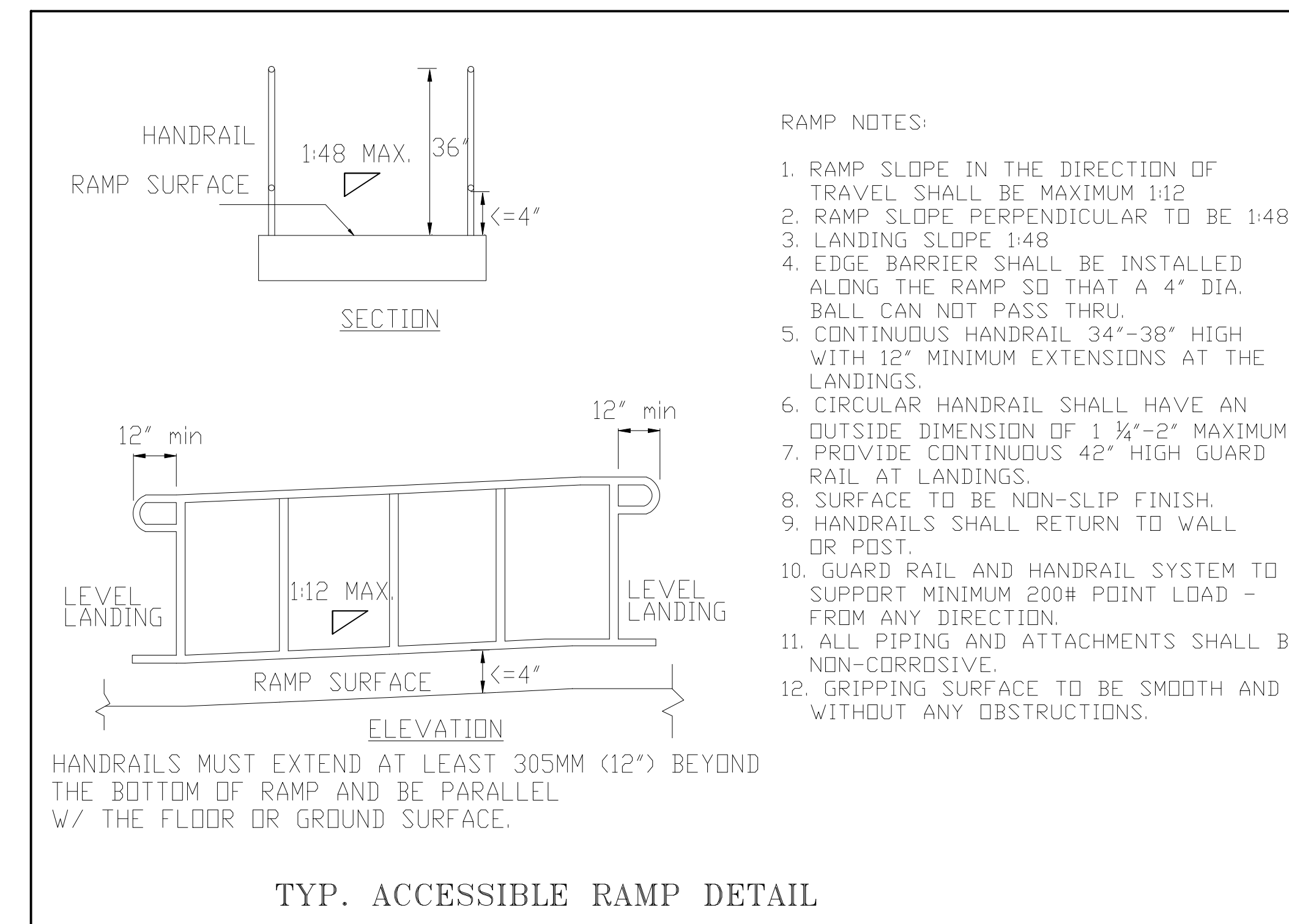
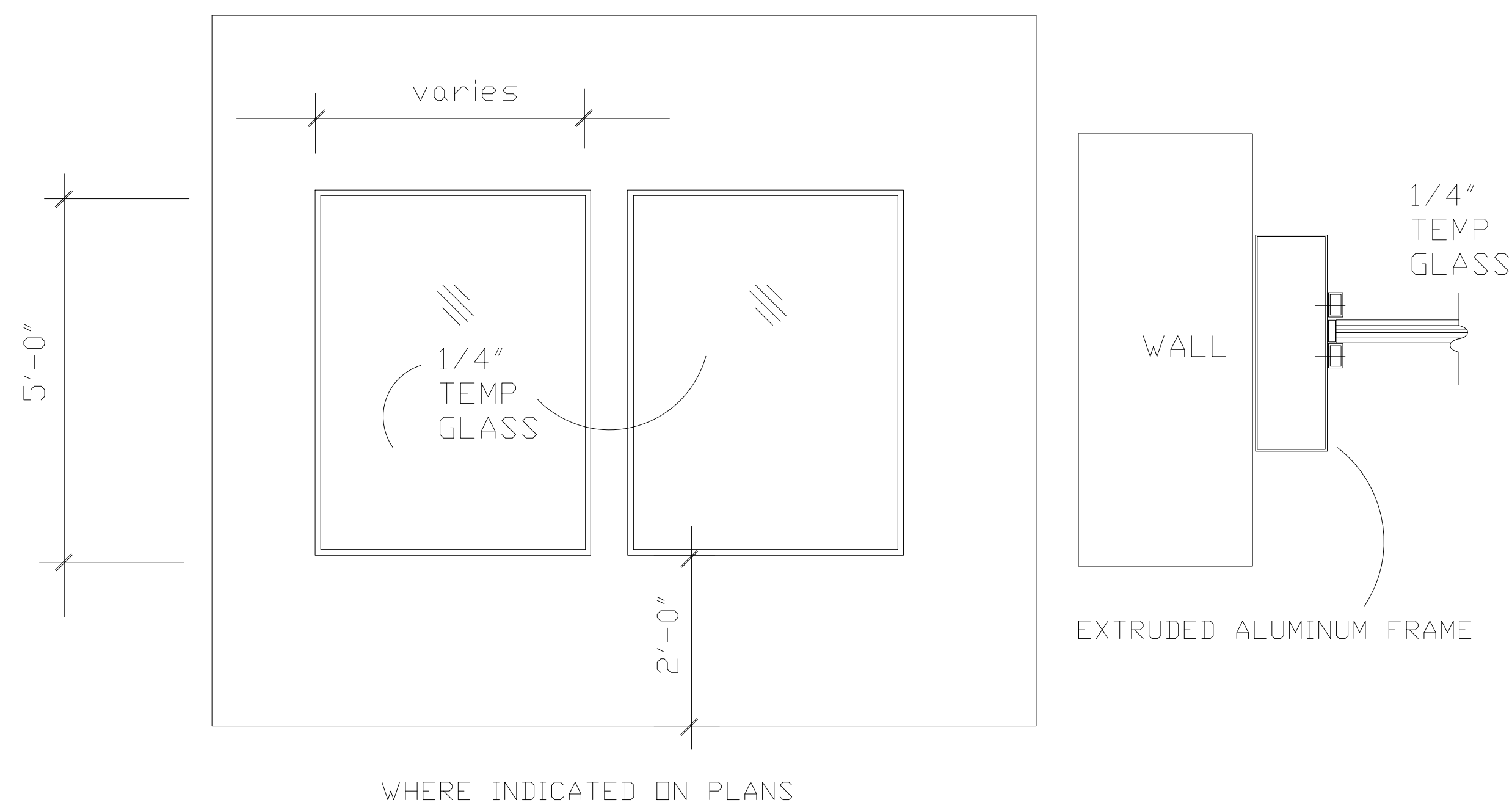
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NON-GENDER TOILET ROOM
TOILET ROOM ICON WITH TEXT STATING
RESTROOM AND BRAILLE OF TEXT

TYP: ALL LOCATIONS
42" HIGH CONT.
1 1/2" DIA METAL GUARD RAIL
WITH LESS THAN 4" OPENINGS
-MUST SUPPORT MIN. 200# LOAD
FROM ANY DIRECTION

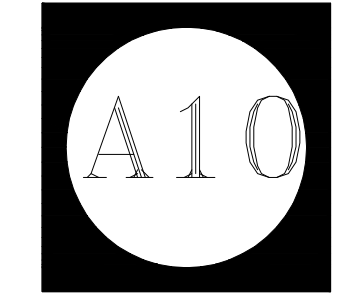


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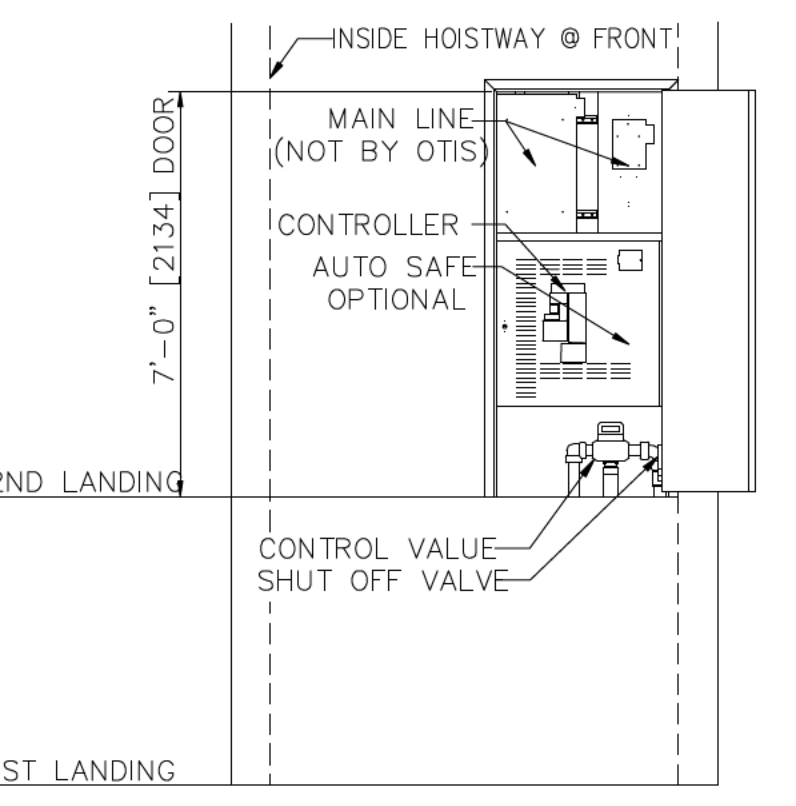
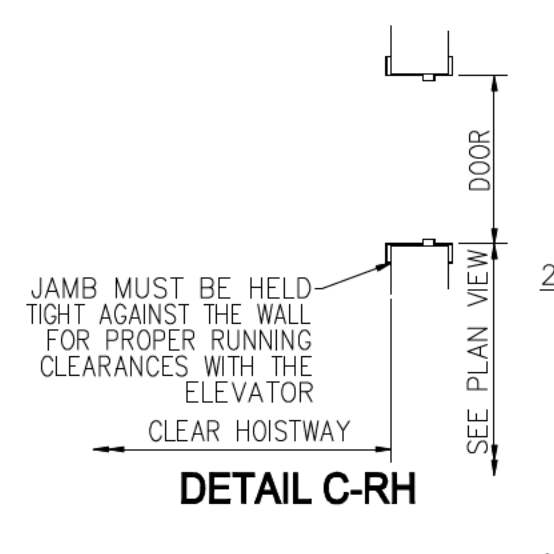
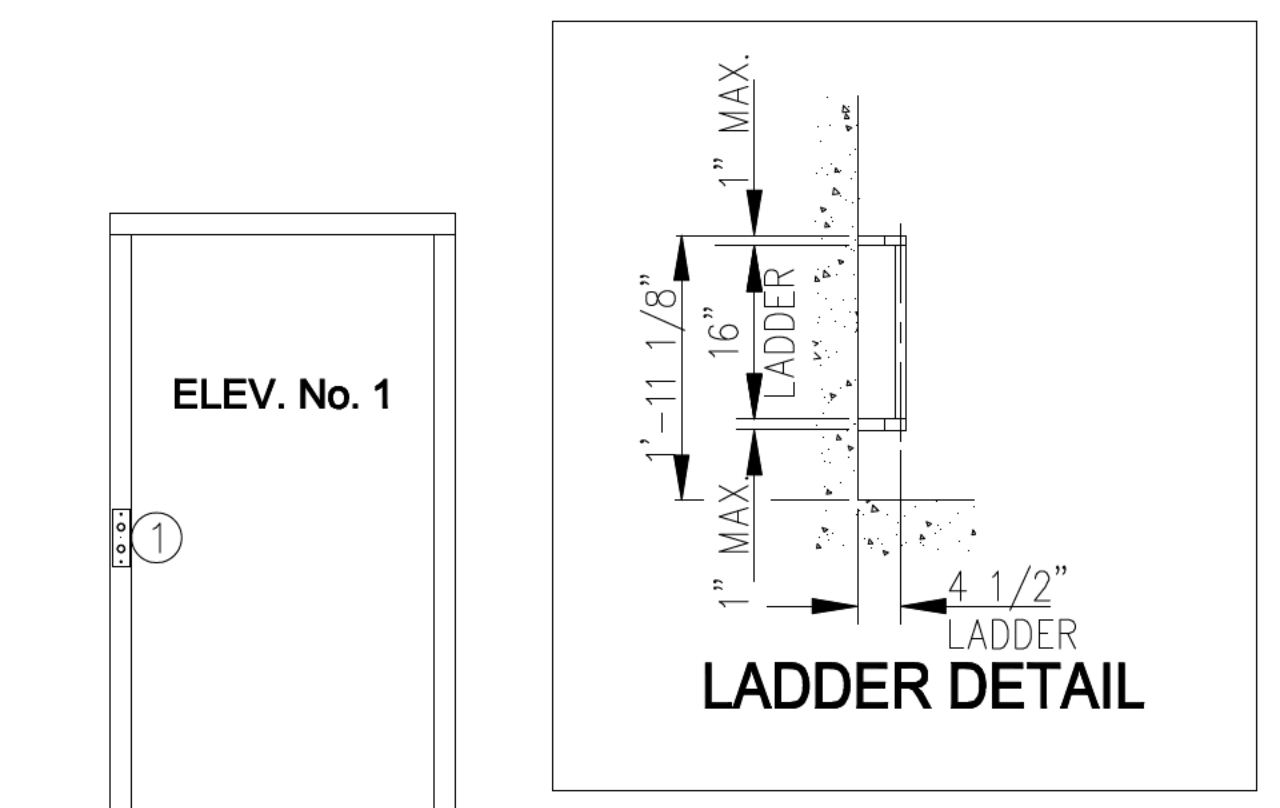
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GENERAL REQUIREMENTS

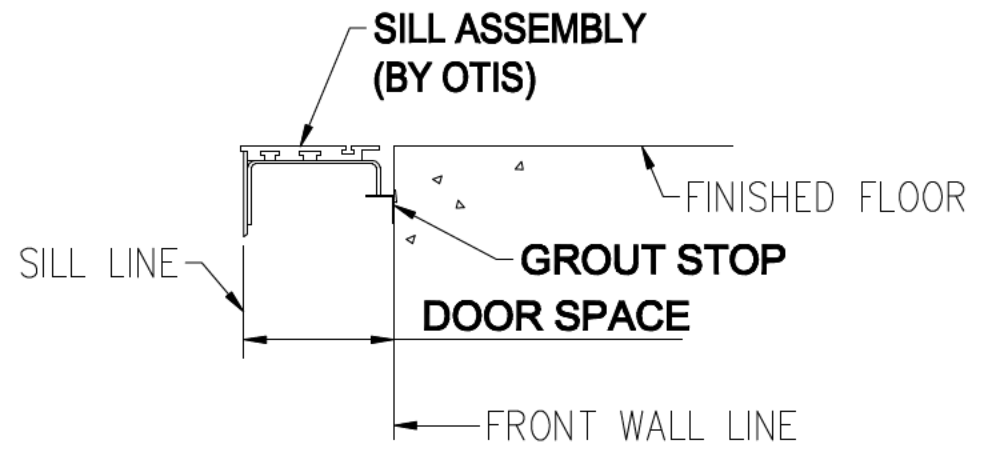
- PROPERLY FRAMED AND ENCLOSED LEGAL HOISTWAY INCLUDING VENTING AS REQUIRED BY THE GOVERNING CODE AND SAFETY BEAM AS SHOWN.
- ADEQUATE SUPPORT FOR GUIDE RAIL FASTENINGS NOT TO EXCEED THE VERTICAL SPACING SHOWN ON THE RAIL BRACKET CHART. SEPARATOR BEAMS WHERE REQUIRED.
- PROTECTION FROM FALLS (OSHA 1926.502 B (1-3)): FREESTANDING REMOVABLE BARRICADE AT EACH HOISTWAY OPENING AT EACH FLOOR REQUIRED. BARRICADES SHALL BE 42" HIGH, WITH MID-RAIL AND KICK BOARD, AND WITHSTAND 200 LBS OF VERTICAL AND HORIZONTAL PRESSURE.
 - PROTECTION FROM FALLING OBJECTS (OSHA 1926.502(j)): HOISTWAY PROTECTION FROM FALLING DEBRIS AND OTHER TRADES MATERIALS PROVIDED BY EITHER 1) AN 8 FOOT SCREENING/MESH IN FRONT OF ALL ELEVATOR ENTRANCES OR 2) BY A SECURED/CONTROLLED ACCESS TO ALL ELEVATOR LOBBIES (LOCK AND KEY) WITH POSTED NOTICE "ONLY ELEVATOR PERSONNEL BEYOND THIS PROTECTION".
 - 3A AND 3B CAN BE INTEGRATED SYSTEMS. HOISTWAY BARRICADES AND SCREENING SHALL BE CONSTRUCTED, MAINTAINED AND REMOVED BY OTHERS.
- ALL CUTTING OR PATCHING TO ACCOMMODATE ELEVATOR INSTALLATION.
- HOISTWAY WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIRED FIRE RATING INCLUDING WHERE PENETRATED BY ELEVATOR FIXTURE BOXES, AND TO INCLUDE ADEQUATE FASTENINGS TO HOISTWAY ASSEMBLIES. PROVIDE ADEQUATE SUPPORT AT ALL FASTENING POINTS OF EACH ENTRANCE. PROVIDE PLUMB VERTICAL SURFACES FOR ENTRANCES AND SILL SUPPORTS, ONE ABOVE THE OTHER, AND SQUARE WITH THE HOISTWAY. FINISH FLOOR AND GROUT, IF REQUIRED, BETWEEN DOOR FRAMES TO SILL LINE. A HORIZONTAL SUPPORT IS TO BE PROVIDED 1'-0" [305mm] ABOVE THE CLEAR OPENING AT THE TOP LANDING TO SUPPORT THE DOOR FRAME ASSEMBLY. IF FLOOR HEIGHTS EXCEED 12'-0" [3657], A HORIZONTAL SUPPORT IS TO BE PROVIDED 1'-0" [3057] ABOVE THE CLEAR OPENING. IF TRANSOMS ARE FURNISHED, COORDINATE HORIZONTAL BEAM SUPPORT WITH CONSTRUCTION
- FOR PRECAST OR POURED CONCRETE WALLS, PROVIDE THE ROUGH OPENING FOR HOISTWAY AS SHOWN ON LAYOUT, AND ANY GROUTING AROUND ENTRANCE FRAMES IF REQ'D.
- FOR EACH ELEVATOR, A THREE PHASE ELECTRICAL FEEDER SYSTEM WITH A SEPARATE EQUIPMENT GROUNDING CONDUCTOR AND A SINGLE PHASE 120 VOLT LIGHTING SUPPLY. EACH WITH A FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER, WIRED TO EACH CONTROLLER.
- IN THE PIT, A SEPARATE BRANCH CIRCUIT FOR CONVENIENCE G.F.C.I. OUTLET & LIGHT FIXTURE WITH LIGHT SWITCH ADJACENT TO THE PIT LADDER.
- ALL ELECTRIC POWER FOR TOOLS, LIGHT, HOIST, ETC., DURING ERECTION AS WELL AS ELECTRIC CURRENT FOR STARTING AND ADJUSTING THE ELEVATOR.
- THE ACCUMULATION OF WATER MUST BE PREVENTED.
- A FIXED VERTICAL STEEL LADDER TO PIT EXTENDING 4'-0" (1219mm) ABOVE THE SILL OF THE BOTTOM ENTRANCE AS LOCATED IN THE PLAN VIEW. LADDER WIDTH AND PROJECTION FROM WALL PER LOCAL CODE. IF PIT DEPTH IS GREATER THAN 9'-10" (3000mm) [13'-9" (4191mm) WITH NO FLOOR BELOW BOTTOM LANDING], A PIT ACCESS DOOR IS REQUIRED.
- PIT FLOOR BENEATH CYLINDERS AND BUFFER TO BE FLAT AND LEVEL WITHIN 1/8" (3mm) FULL WIDTH OF HOISTWAY.
- ELEVATOR CAB FLOORING MUST NOT EXCEED A THICKNESS OF 5/16" (8mm).
- ONE (1) DEDICATED OUTSIDE TELEPHONE LINE TO THE ELEVATOR MACHINE ROOM MUST BE FURNISHED. TELEPHONE CONNECTIONS TO EACH CONTROLLER. TELEPHONE INSTRUMENT
- ALL 125 VOLT, 15 OR 20 AMP, SINGLE PHASE DUPLEX RECEPTACLES INSTALLED IN PITS, MACHINE ROOMS OR MACHINERY SPACES, SHALL BE OF THE GROUND-FAULT-CIRCUIT-INTERRUPTER TYPE.
- SMOKE DETECTORS, LOCATED AS REQUIRED, WITH WIRING FROM THE SENSING DEVICES TO A CONTROLLER DESIGNATED BY OTIS. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING. FOR EACH GROUP OF ELEVATORS, PROVIDE A NORMALLY CLOSED CONTACT REPRESENTING ALL SMOKE DETECTORS LOCATED IN LOBBIES, HOISTWAYS, OR MACHINE ROOMS, BUT NOT THE SMOKE DETECTOR AT THE DESIGNATED RETURN LANDING (SEE ABOVE) OR THE SMOKE DETECTORS AS DESCRIBED IN A & B BELOW:
 - IF A SMOKE DETECTOR IS LOCATED IN THE HOISTWAY AT OR BELOW THE LOWER OF THE TWO RECALL LANDINGS, IT SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR LOCATED IN THE LOBBY AT THE LOWER OF THE TWO RECALL LANDINGS.
 - IF MACHINE ROOMS ARE LOCATED AT THE DESIGNATED RETURN LANDING, THE SMOKE DETECTOR LOCATED THEREIN SHALL BE WIRED TO ACTIVATE THE SAME NORMALLY CLOSED CONTACT AS THE SMOKE DETECTOR AT THE DESIGNATED LANDING. FOR A SINGLE UNIT, OR GROUP OF ELEVATORS HAVING ONE COMMON MACHINE ROOM AND ONE COMMON HOISTWAY, PROVIDE ONE ADDITIONAL NORMALLY CLOSED CONTACT REPRESENTING ALL MACHINE ROOM AND HOISTWAY SMOKE DETECTORS. IF THE GROUP CONTAINS MORE THAN ONE HOISTWAY, AND HOISTWAY SMOKE DETECTORS ARE INSTALLED, OR IF THE GROUP HAS MORE THAN ONE MACHINE ROOM, PROVIDE ONE ADDITIONAL NORMALLY CLOSED CONTACT FOR EACH ELEVATOR. THE CONTACT IS TO REPRESENT THE SMOKE DETECTOR IN THE MACHINE ROOM FOR THAT PARTICULAR ELEVATOR, AND ANY SMOKE DETECTORS IN THE HOISTWAY CONTAINING THAT PARTICULAR ELEVATOR.
- PROVIDE CLASS "ABC" FIRE EXTINGUISHER IN MACHINE ROOMS. NOT USED.
- TWO (2) 6" X 6" (152mm x 152mm) CUTOUTS ARE OIL PIPE AND THE ACTUAL LOCATION OF THE CUTOUTS FOR THE TO AND FROM ELECTRICAL TROUGH WILL VARY DEPENDENT UPON MACHINE ROOM LOCATION AND CONFIGURATION.
- BUILDING RAIL SUPPORTS TO SUSTAIN THE HORIZONTAL RAIL FORCES WITH A MAXIMUM ALLOWABLE DEFLECTION OF 1/8" (3mm).



NOTE 18A
DOOR MUST BE LOCATED ON AN INTERIOR WALL OF THE BUILDING, IT CANNOT BE OPENED TO THE OUTSIDE OF A BUILDING.

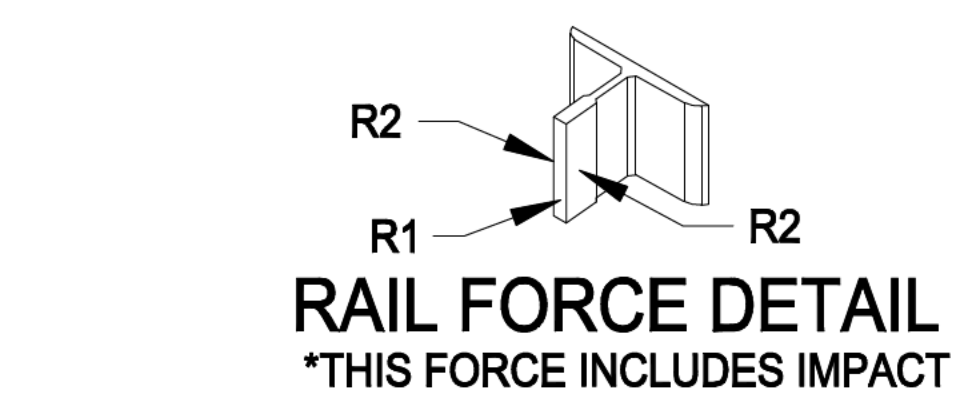
NOTE 18B
CONTACT OTIS REPRESENTATIVE FOR MRL ACCESS DOOR LOCATION GUIDELINE DRAWINGS.

- ELEVATOR PIT LADDER SHALL EXTEND 42" ABOVE THE DOOR SILL.
- INSTALL PIT LIGHTING WITH SWITCH UP AND OVER BY LADDER 36" ABOVE THE DOOR SILL.
- PIT LIGHT IN EITHER FRONT OR REAR OF SHAFT AND CLEAR OF EQUIPMENT AND 24" ABOVE FLOOR.
- BOTTOM OF SHAFT CEILING/OBSTRUCTION SHALL BE CLEAR MINIMUM 42" ABOVE TOP OF CAB.
- EDGES BIGGER THAN 2" SHALL BE WITH 70 DEGREE METAL TAPER.
- INSTALL 44 SYMBOL PICTOGRAPH FIRE WARNING SIGNS ABOVE ALL HALL STATIONS.
- INSTALL TELEPHONE TO 24 HOUR SOURCE WITH VOICE MESSAGE.
- INSTALL ELECTRIC EYES AT 5" AND 29" OFF THE SILL.
- MINIMUM HEIGHT OF THE ELEVATOR CAB TO BE 7'-9".
- INSTALL GRAB/HANDRAILS ON ALL THREE SIDES OF CAB.
- TIE FIRE SMOKE SENSORS INTO ELEVATOR CONTROLLER WITH ALTERNATE FLOOR SENSOR, SHAFT, AND ALL LOBBIES.
- MINIMUM CAR SIZE-68"x51"(LARGER SIZES PROVIDED), WITH 36"/LARGER HOOR.
- FUSE MAINLINE DISCONNECT SWITCH NEXT TO ACCESS DOOR ON LOCK SIDE.
- SEPARATE 110V CAR LIGHT FEED FOR ELEVATOR CAR.
- ELEVATORS ARE MACHINERY ROOM LESS TYPE.
- ELEVATORS TO BE FULLY ACCESSIBLE.
- MOUNT HALL LANTERNS AT 72" AFF.
- CALL BUTTONS TO BE MOUNTED AT 42".
- HOIST-WAY JAMB SIGNS SHALL BE MOUNTED AT 60" TO THE CENTERLINE, AND
- JAMB-SIGNS INDICATED FOR BOTH SIDES OF THE OPENING.
- ALSO COMPLY WITH ELEVATOR MANUFACTURERS REQUIREMENTS PER SHOP DRAWINGS SUBMITTAL.



DETAIL "A" SILL SUPPORT

ADEQUATE SUPPORT AT ALL FASTENING POINTS OF ENTRANCE ASSEMBLY REQUIRED. MUST WITHSTAND A HORIZONTAL PULL-OUT FORCE OF 140 LBS. @ EA. FASTENING POINT (8 @ EA. ENTRANCE) INCLUDING SUPPORT FOR CENTER SILL SUPPORT BRACKET (NOT BY OTIS).



CAR	R1	283 lbs
	R2	144 lbs
*EACH BUFFER IMPACT LOAD		16200 lbs
*EACH CYLINDER IMPACT LOAD		598 lbs
CAR MAXIMUM BRACKET SPACING		14' 0"

SEE STRUCTURAL FOR PIT FOUNDATION

ELEVATOR SHAFT
1 HR RATED FIRE PROTECTION
SEE DETAIL-PAGE A12

SECTIONAL ELEVATION

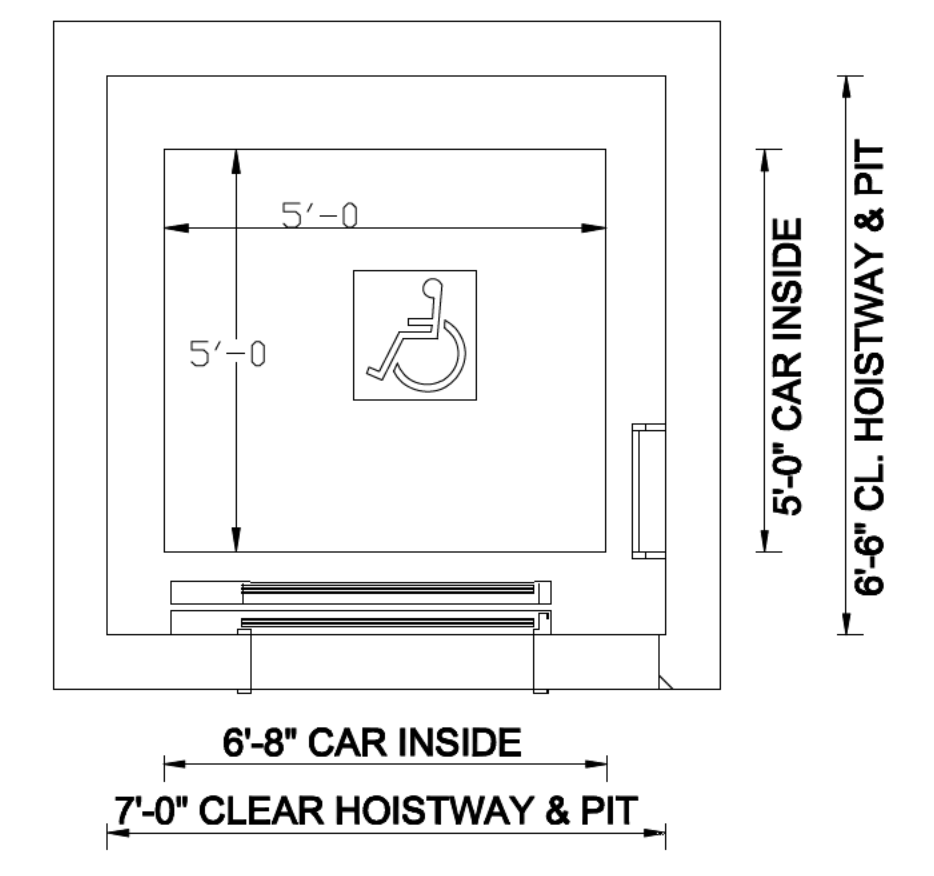
FOR MAX. SPACING BETWEEN INSERTS SEE RAIL FORCE DETAIL

ELEVATOR WITH EMERGENCY BATTERY LOWERING

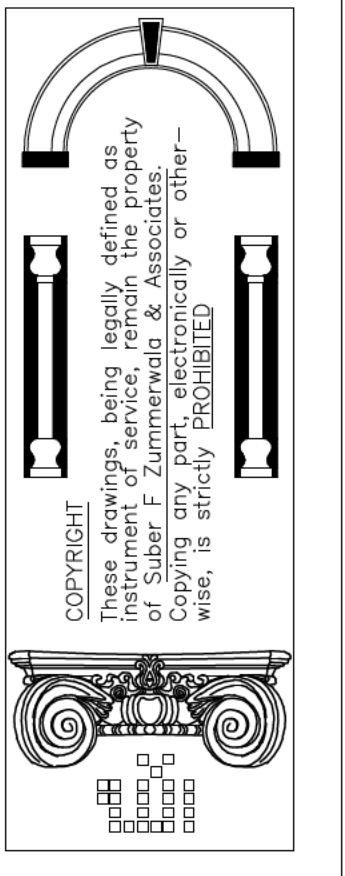
ELEVATOR SUMP TO DISCHARGE INDIRECTLY TO SANITARY OR STORM LINE.
FOLLOW ILLINDIS PLUMBING SECTION 80.1360g
PROVIDE LED LIGHT FIXTURE (DAMP LOCATION) AND GFCI (WP) OUTLET
DAMP-PROOFING ON WALLS

FIRE PROTECTION NOTE:

ELEVATOR SHALL HAVE A FIRE DEPARTMENT RECALL. SUBMIT ELEVATOR SPECIFICATIONS INCLUDING SMOKE DETECTION AND SPRINKLER



PLAN VIEW TYPICAL FLOOR PLAN BASEMENT/FIRST FLOOR



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ROOM ADDITION
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160 HAWTHORNE ROAD
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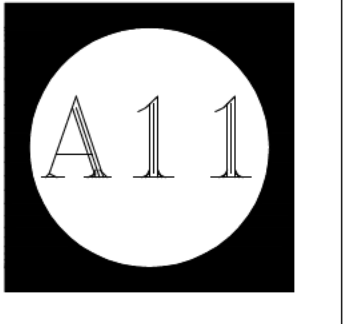
FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. CO-ORDINATE WITH ELEVATOR SUPPLIER BEFORE BUILDING CLEAR CHASE.

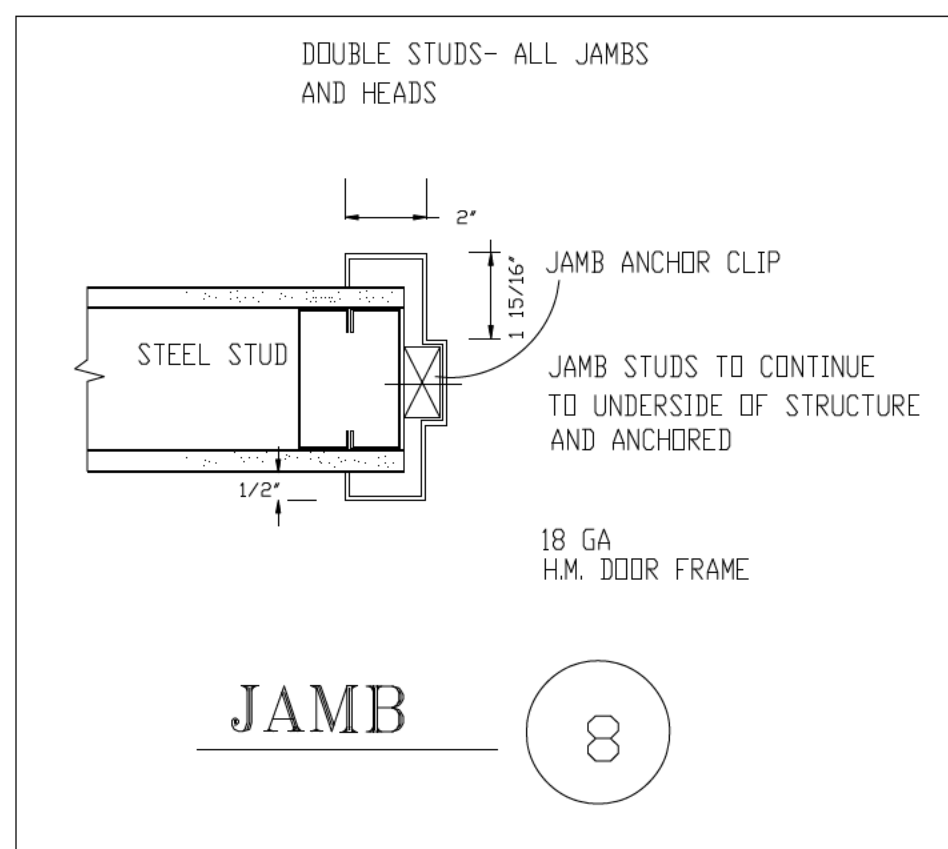
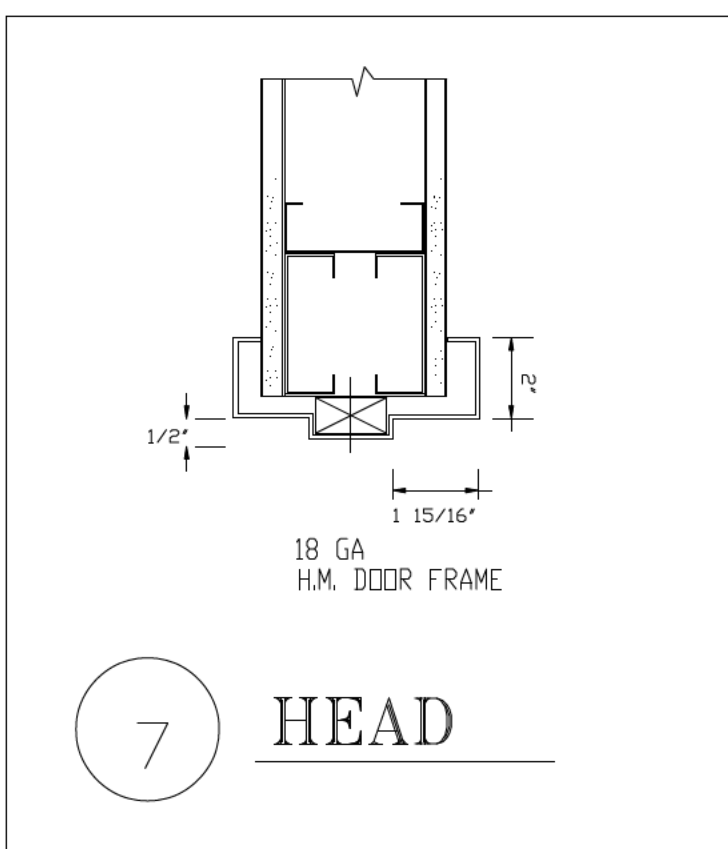
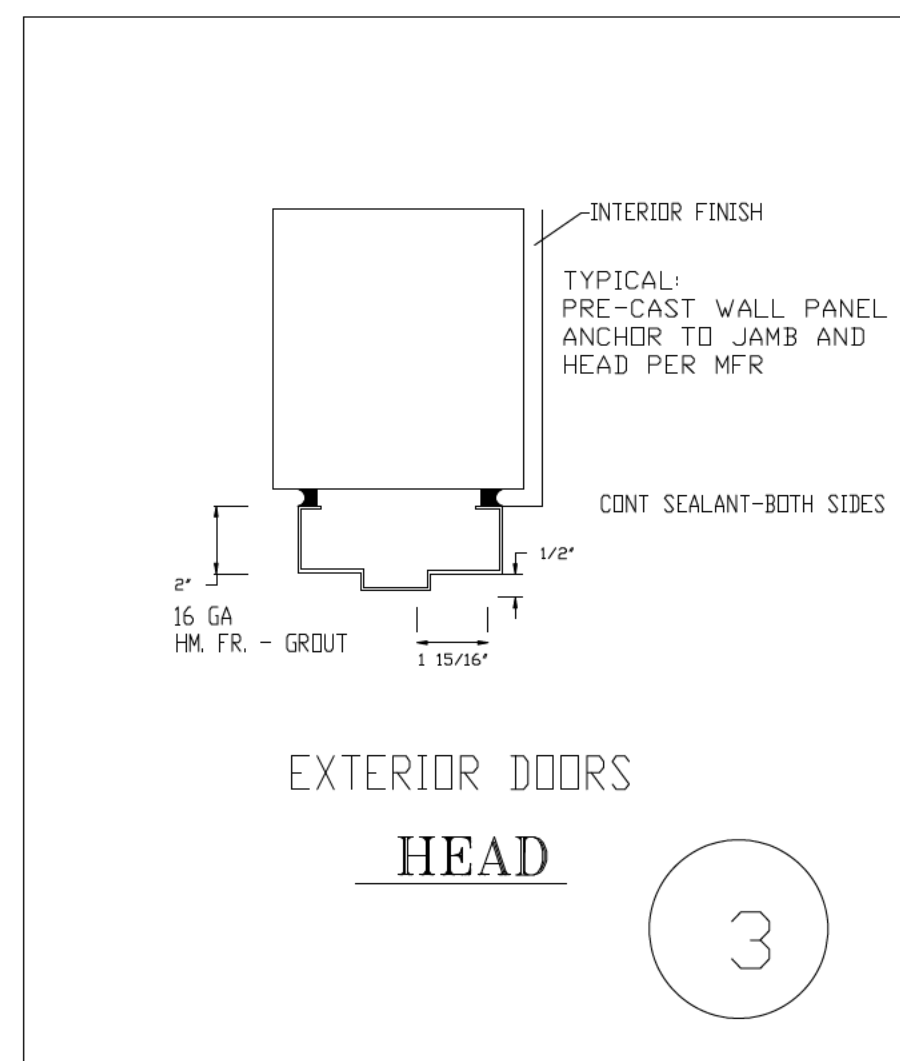
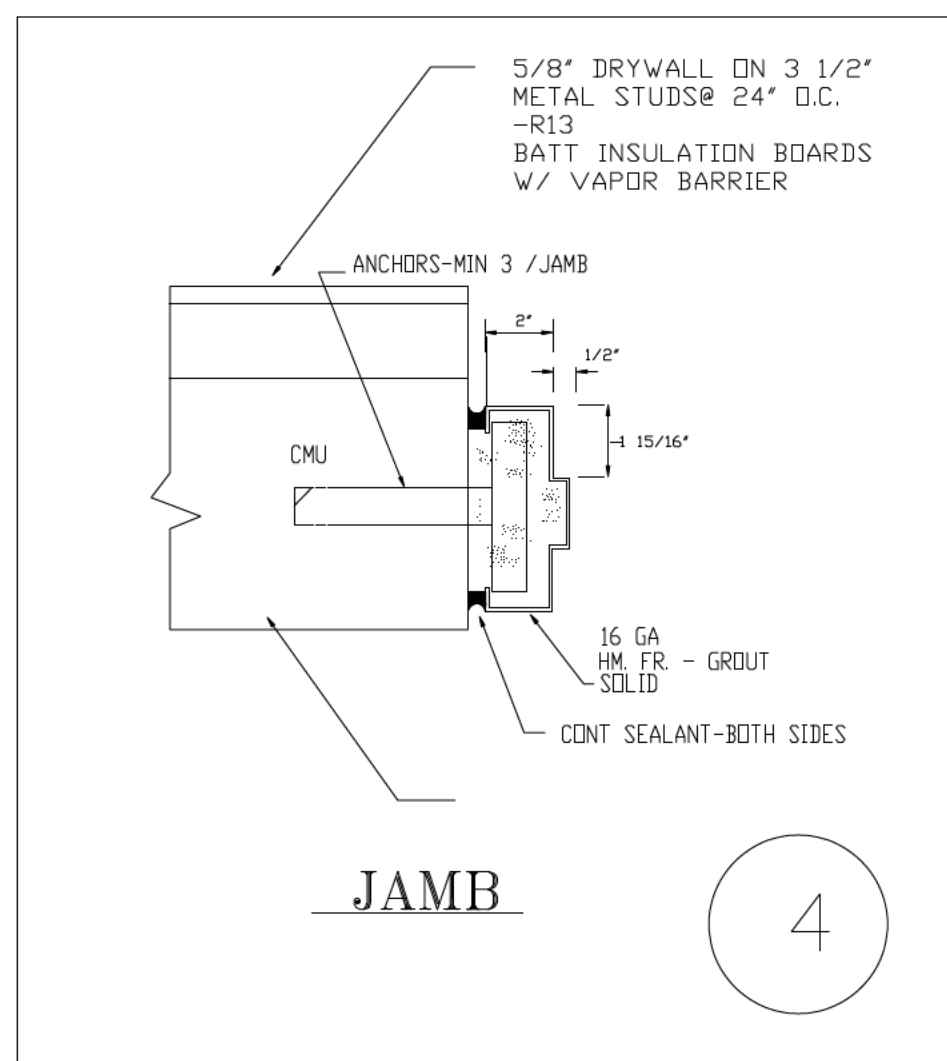
LOCATE AND INSTALL PIT LADDER, PIT LIGHT, GFCI OUTLET AS PER APPROVED SHOP DRAWINGS. CO-ORDINATE WITH ELEVATOR SUPPLIER FOR ALL REQUIREMENTS.

ELEVATOR WITH EMERGENCY BATTERY LOWERING

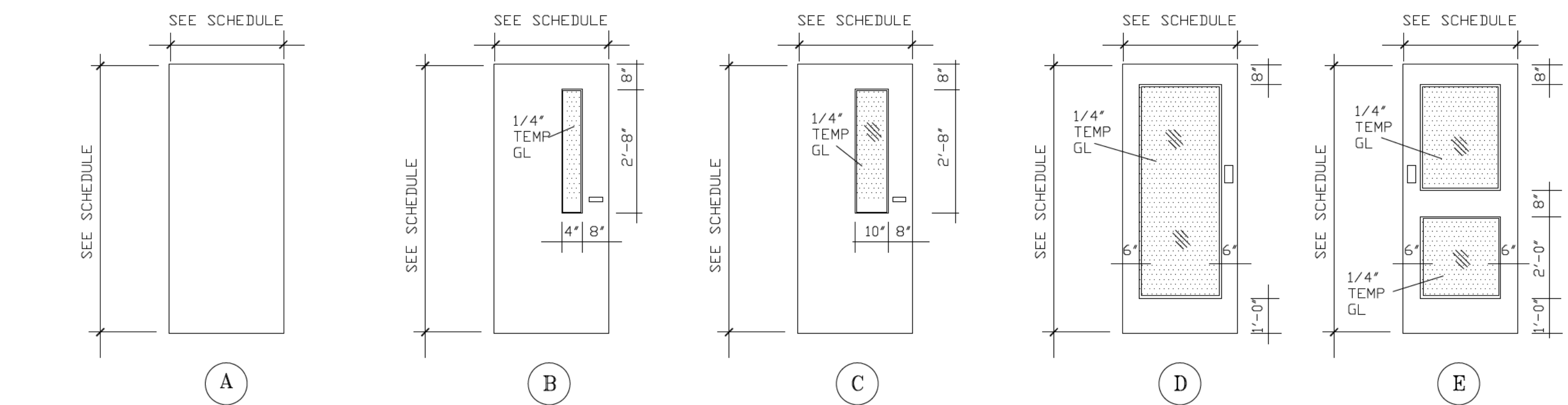
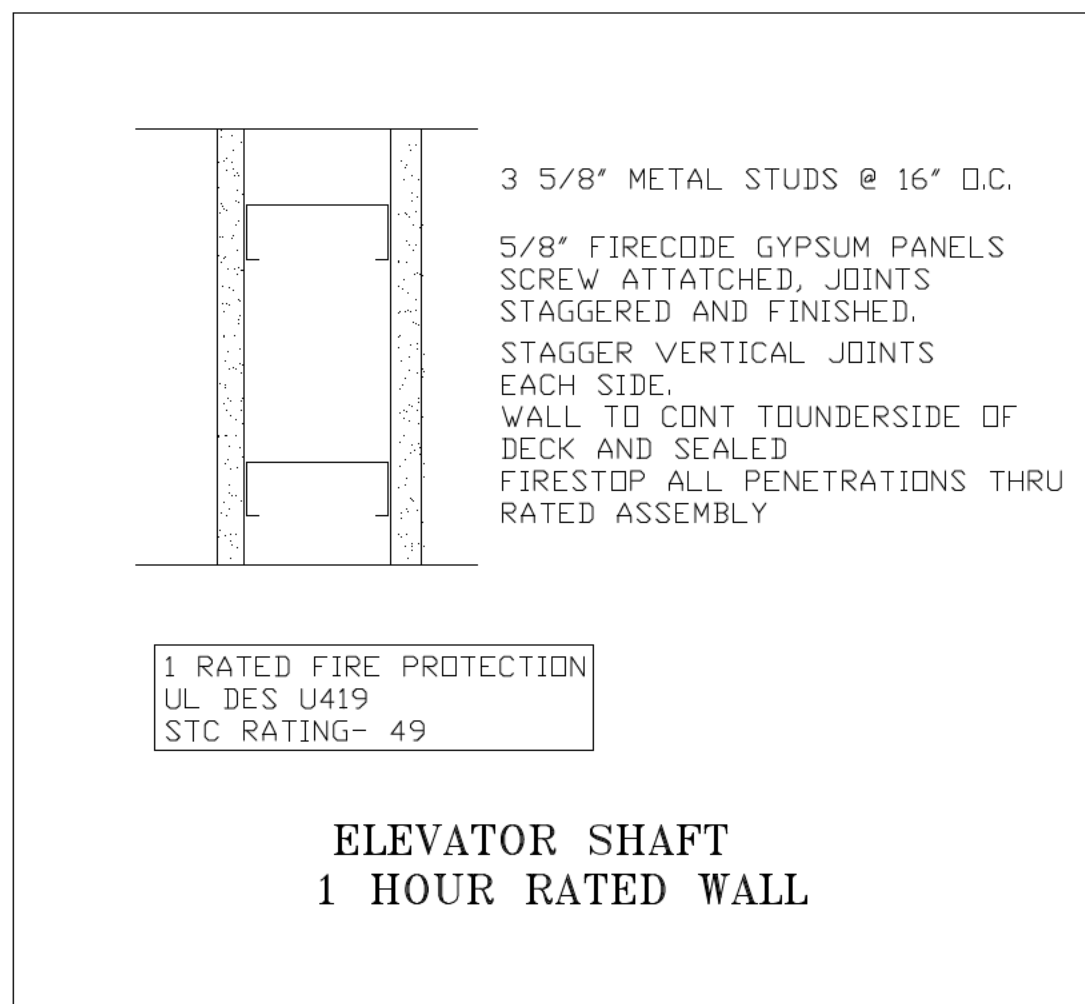
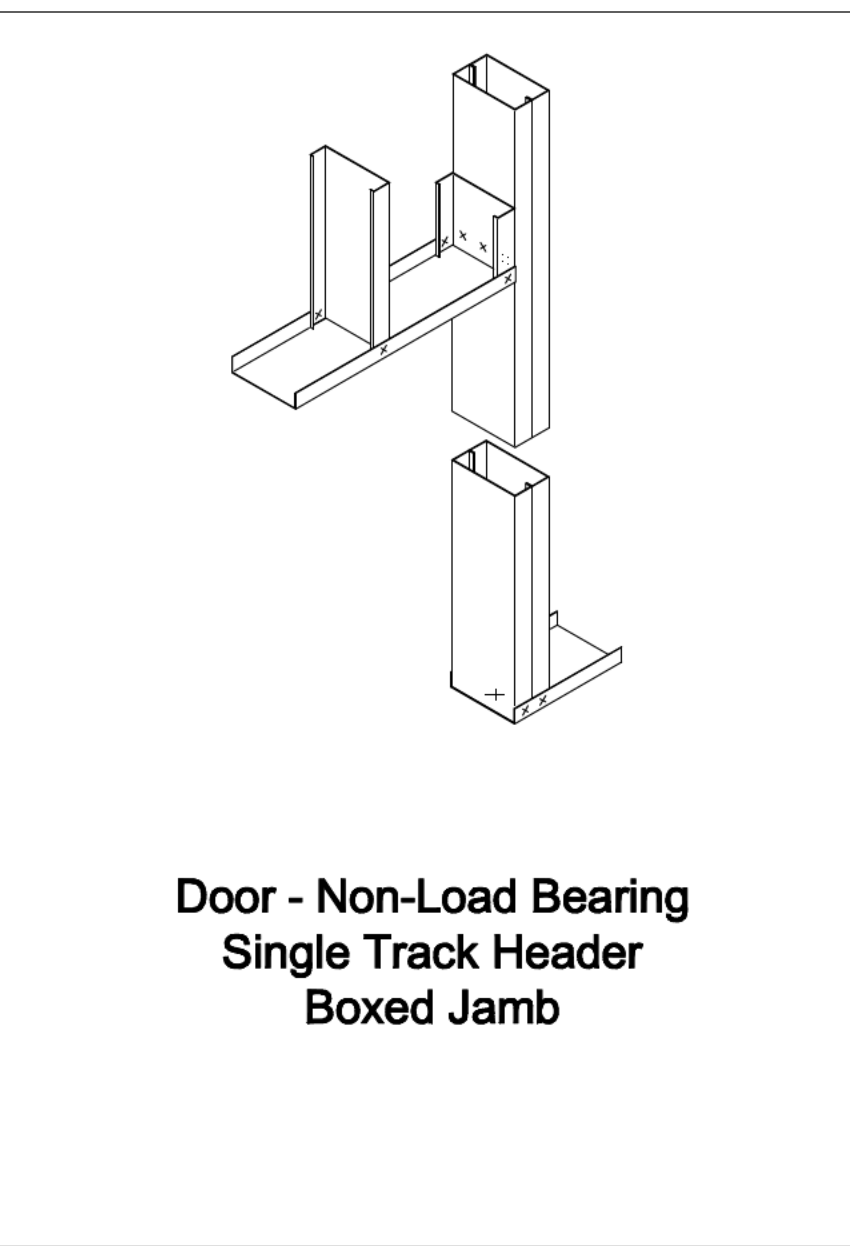
SUBMIT ELEVATOR SHOP DRAWINGS FOR REVIEW AND APPROVAL

ELEVATOR (MRL) MACHINE ROOM LESS



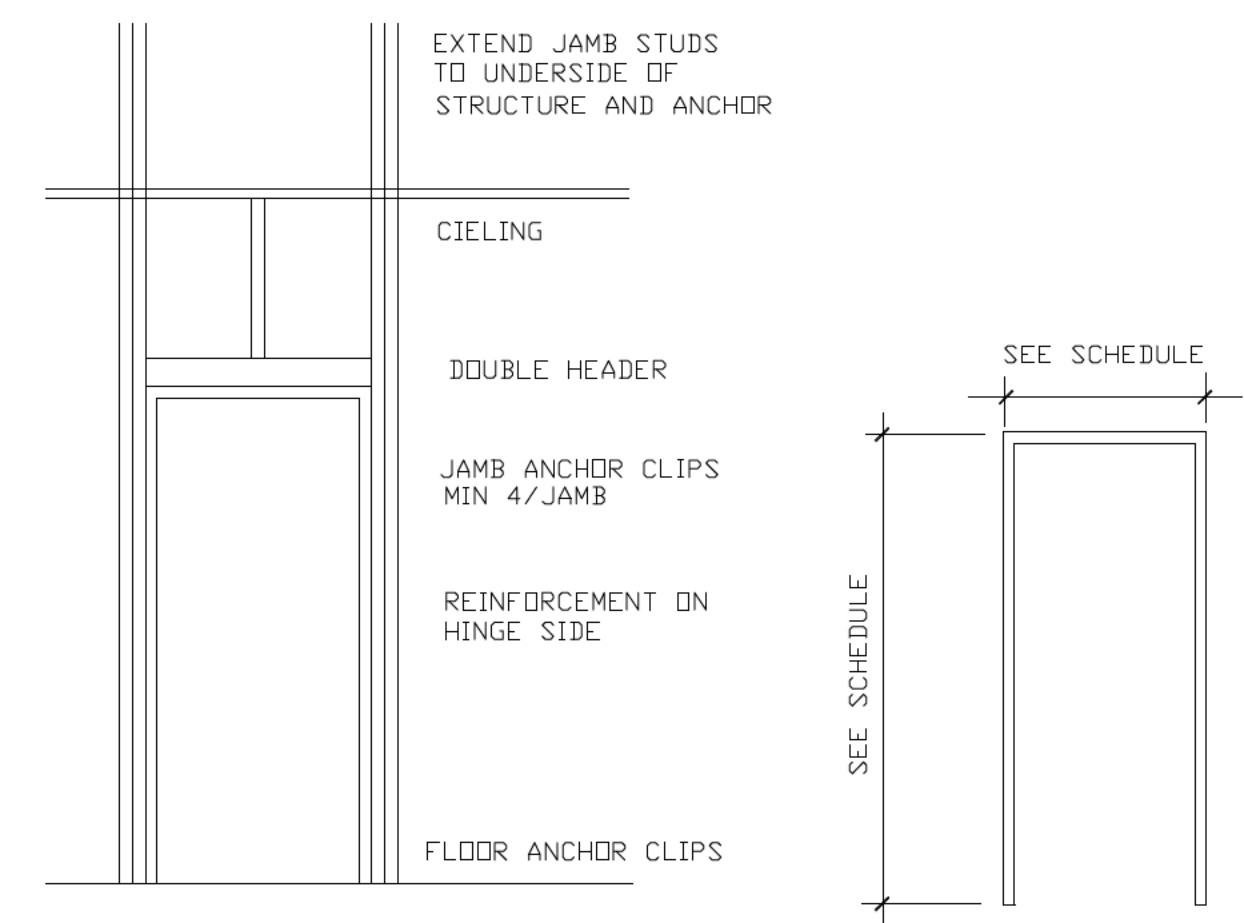


TYP. DETAILS

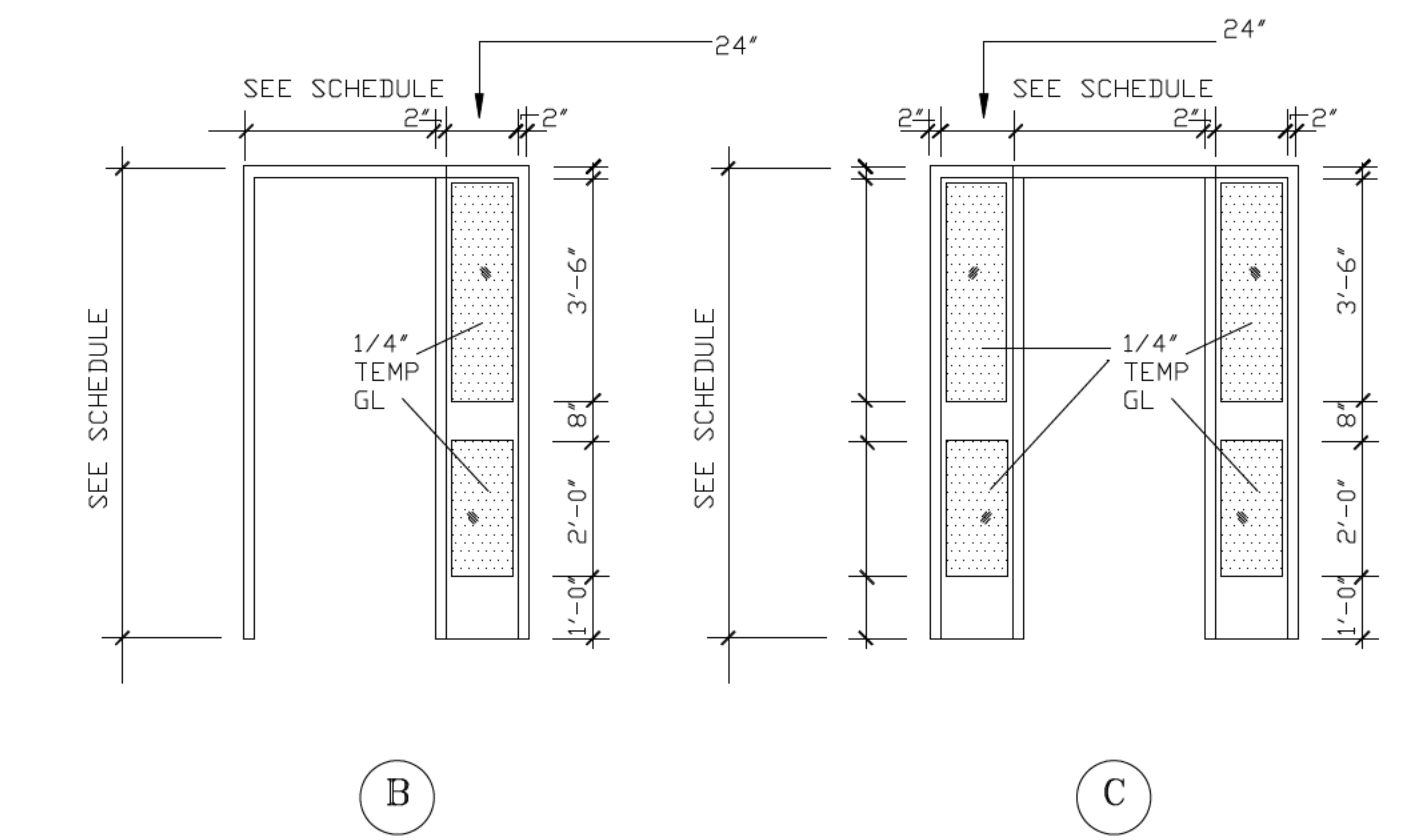


DOOR TYPES

ALL DOORS SWING TYPE ONLY.
ALL TOILET ROOMS DOORS WITH EMERGENCY ACCESS.
ALL GLAZING TO DOORS AND SIDE PANELS WITH SAFETY GLASS ONLY.
ALL FIRE DOORS TO MEET MINIMUM REQUIREMENTS OF NFPA-80, FOR DOOR, FRAME AND HARDWARE.



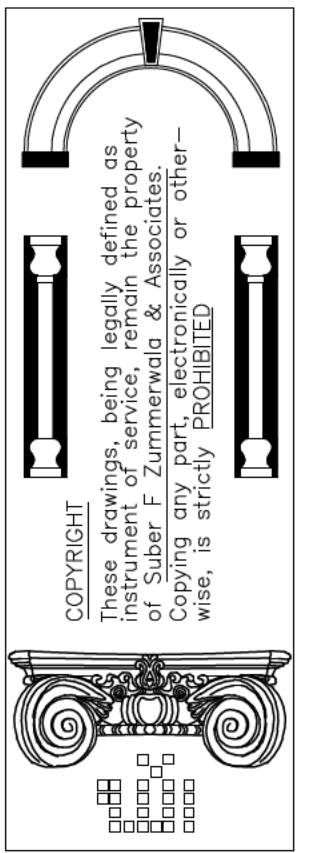
TYP. DOOR FRAMING



FRAME TYPES

NOTES:
APPROVED FIRE DOOR AND FIRE SHUTTER ASSEMBLIES SHALL BE CONSTRUCTED OF MATERIAL OR ASSEMBLY OF COMPONENT MATERIAL THAT CONFORMS TO THE TEST REQUIREMENTS OF SECTION 715.3.1, 715.3.2 OR 715.3.3 AND THE FIRE PROTECTION RATING INDICATED IN TABLE 715.3 FIRE DOOR ASSEMBLIES AND SHUTTERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 80. ALL DOORS IN THE FIRE BARRIER WALLS SHALL BE RATED. DOORS THAT LEAD TO AREAS THAT MIGHT PROVE DANGEROUS TO A PERSON WHO IS VISUALLY IMPAIRED SHALL BE MADE IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE.
ALL EXIT DOORS SHALL BE INSTALLED WITH PANIC HARDWARE WITH DOOR LATCHING ASSEMBLY INCORPORATING A DEVICE WHICH CAUSES THE DOOR LATCH TO RELEASE AND THE LEAF TO OPEN WHEN A FORCE OF 15 POUNDS IS APPLIED IN THE DIRECTION OF EGRESS TO A BAR OR PANEL. THE ACTIVATING PORTION WHICH EXTENDS NOT LESS THAN ONE-HALF THE WIDTH OF THE DOOR LEAF, AND IS APPLIED AT A HEIGHT GREATER THAN 30\"/>

NOTES:
1. DOOR HARDWARE CLOSERS, HANDLES, ETC. SHALL MEET ADA & ANSI 117.1
2. ALL EGRESS DOORS SHALL OPEN FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE.
3. THE MAXIMUM FORCE FOR PUSHING OR PULLING A DOOR SHALL BE:
EXTERIOR HINGED DOORS---- 8.5 lbf.
INTERIOR HINGED DOORS---- 5 lbf.
ALL DOORS TO COMPLY WITH IAC 400.310(C)(8). THRESHOLD SHALL NOT EXCEED 1/2\"/>

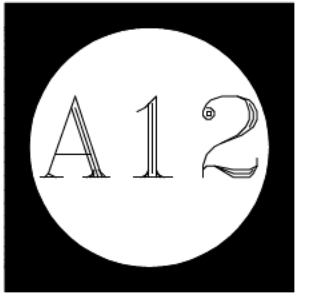


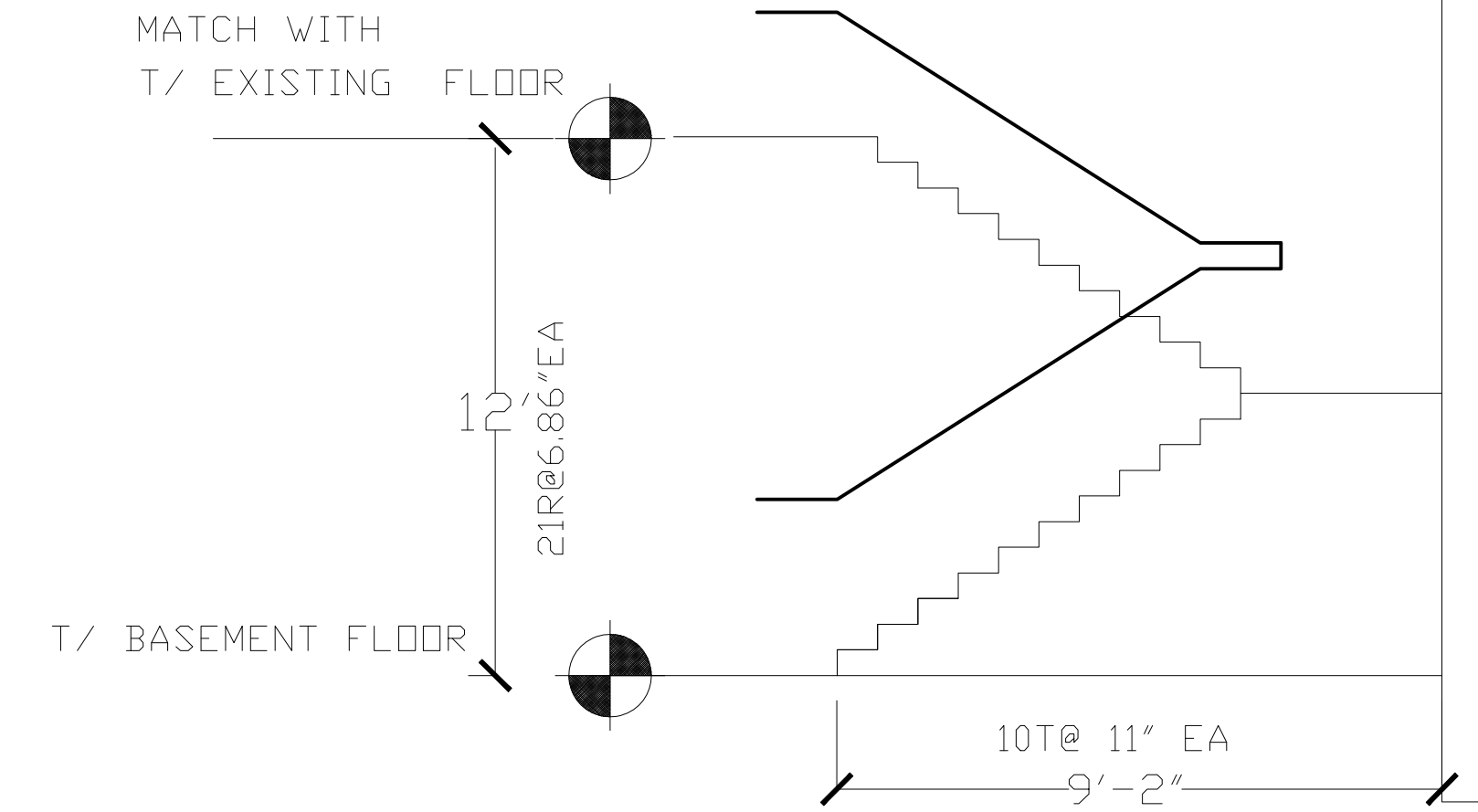
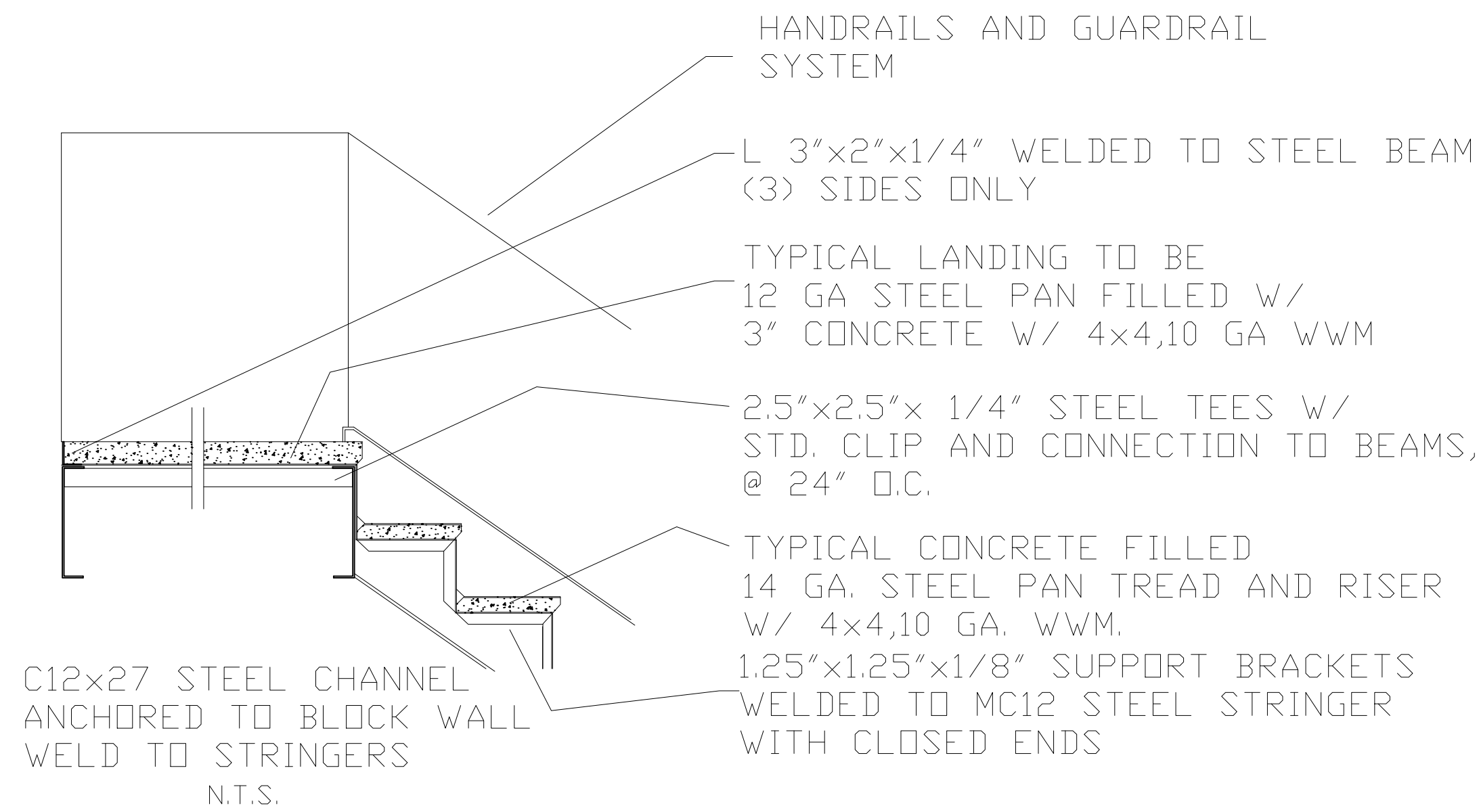
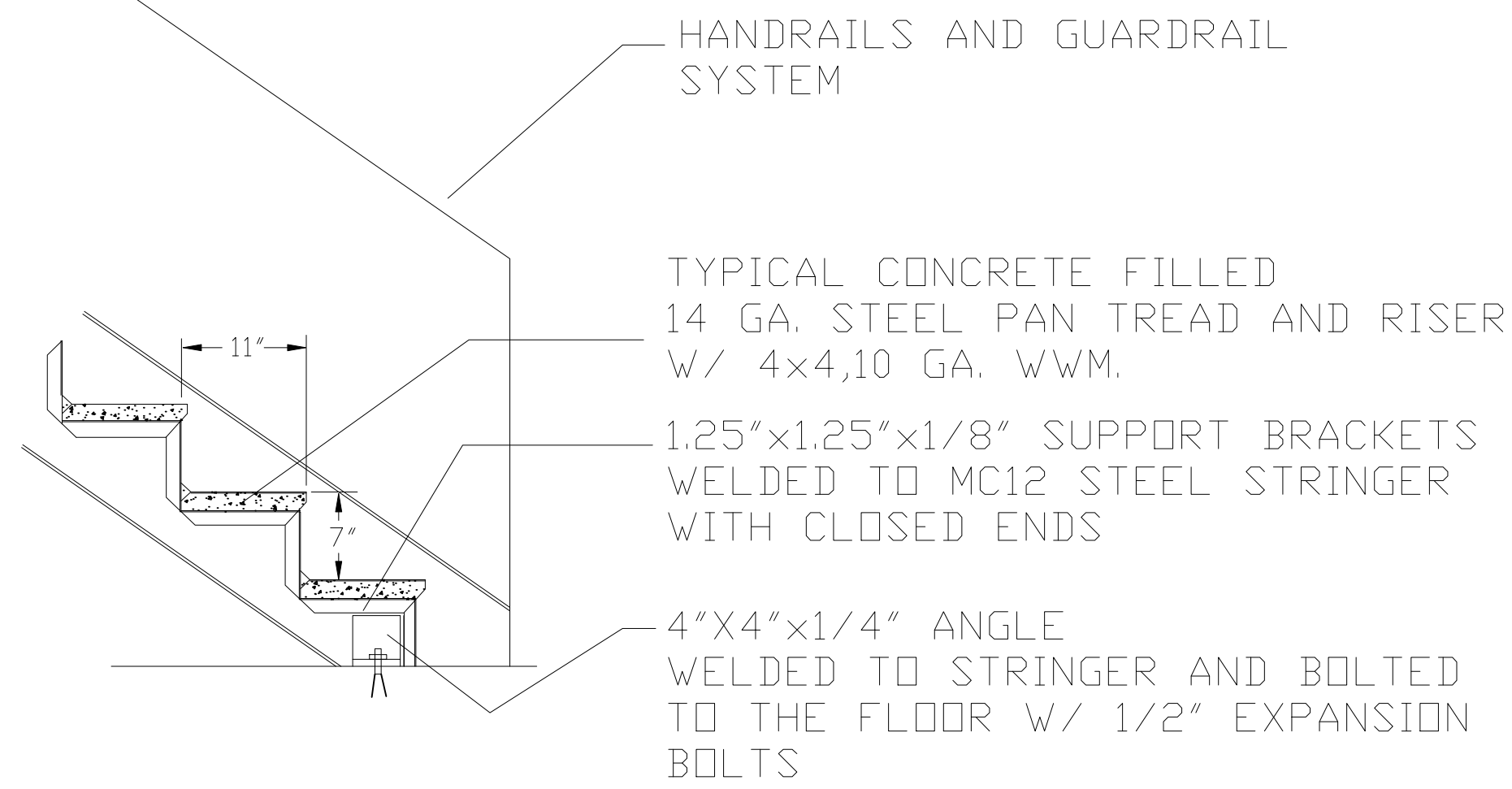
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STAIRS KEY SECTION

STAIRS/HANDRAILS/GUARDRAILS:

HANDRAILS:
HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF TREADS, SHALL BE PROVIDED ON BOTH SIDES OF STAIRWAYS. SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWAL POSTS OR SAFETY TERMINALS. HANDRAILS PROJECTING FROM WALLS SHALL HAVE MIN 1 1/2" SPACE BETWEEN THE WALL AND HANDRAIL. HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION W/ DIA OF 1 1/4" TO 2", OR A NON CIRCULAR CROSS SECTION W/ A PERIMETER DIMENSION OF ATLEAST 4" BUT NOT MORE THAN 6 1/4", AND LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4". PROVIDE MINIMUM 1/8" RADIUS EDGES. HANDRAIL SHALL EXTEND ATLEAST 12" BEYOND THE TOP RISER AND ATLEAST 12" PLUS THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER.

GUARDRAILS:
PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE FLOOR OR GRADE SHALL HAVE CONT GUARDRAILS NOT LESS THAN 42" IN HEIGHT, MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD OR ADJACENT WALKING SURFACE.

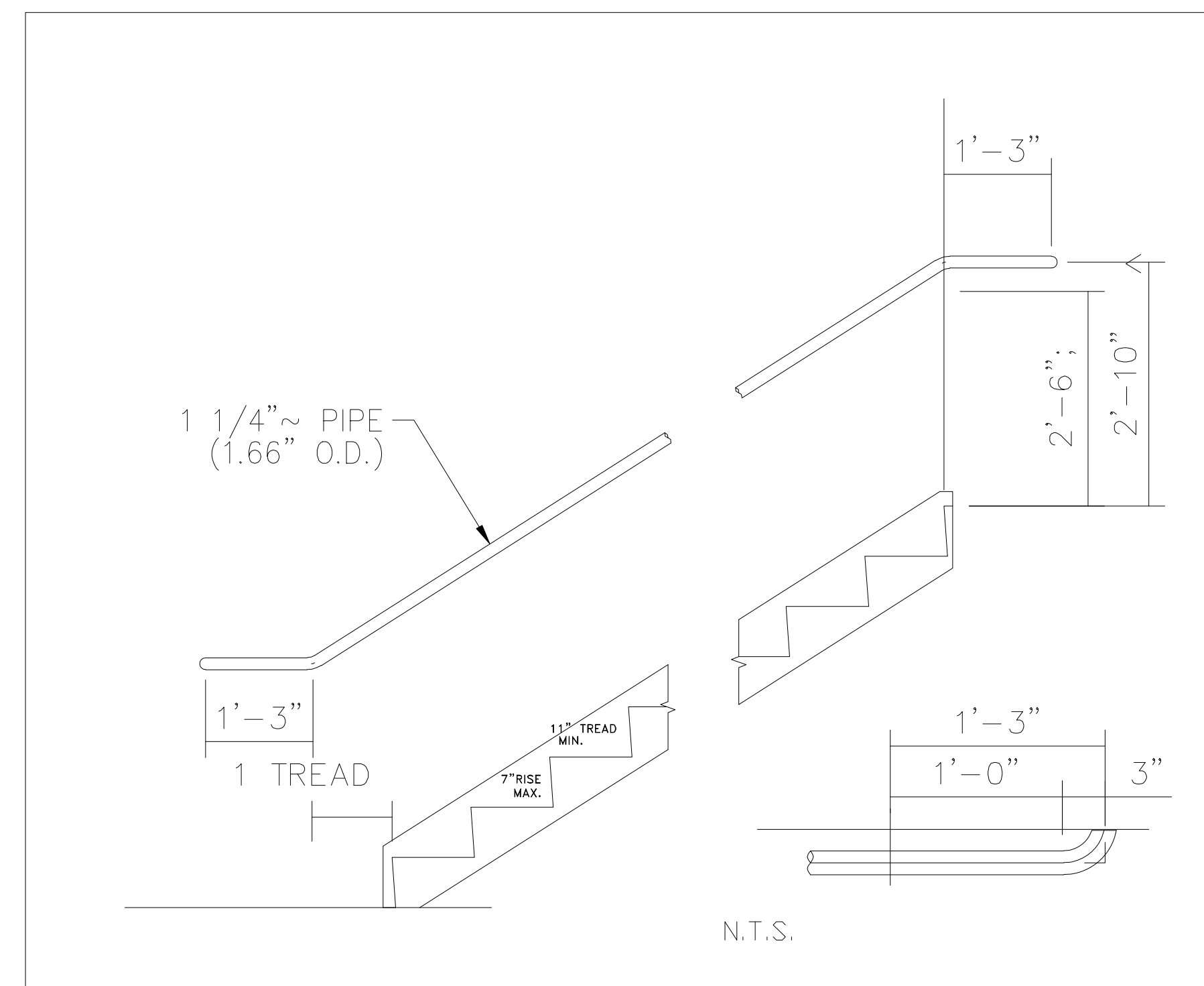
OPEN SIDES OF THE STAIRS W/A TOTAL RISE OF MORE THAN 15" FROM THE FLOOR OR GRADE SHALL HAVE GUARDRAILS NOT LESS THAN 42" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDRAILS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER. REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6" IN DIA CAN NOT PASS THRU.

ALL STAIRS MIN 44" WIDE WITH 36" HIGH CONT HANDRAIL, BOTH SIDES WITH MAX. 4" OPENINGS. WITH SPINDLES SPACED SUCH THAT A 4" DIA BALL CAN NOT PASS THRU. 6"-8" MIN HEAD ROOM 7" MAX RISERS 11" MIN TREAD NOSE TO NOSE 1" NOSING

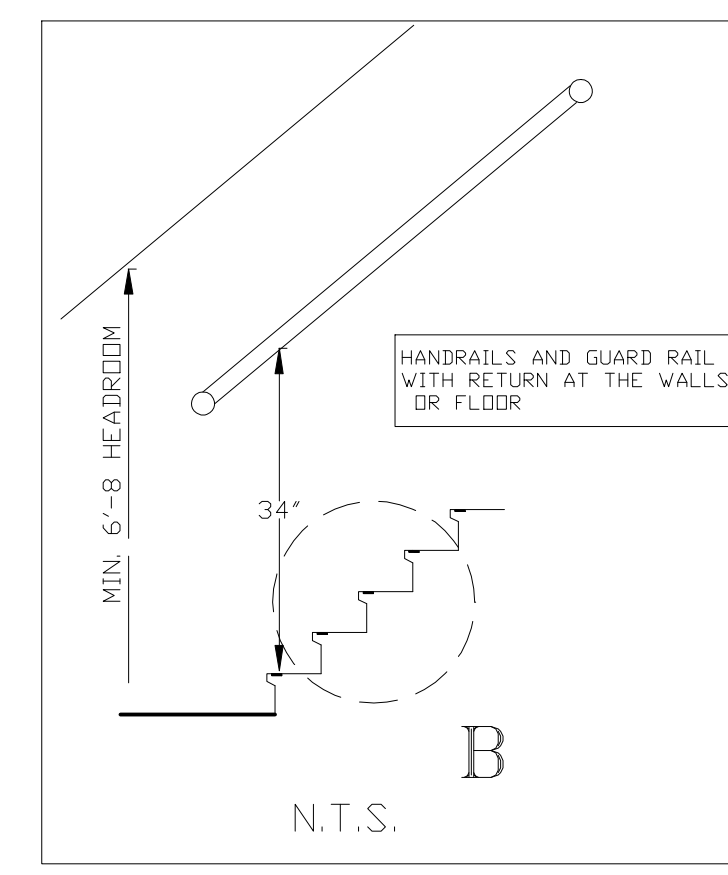
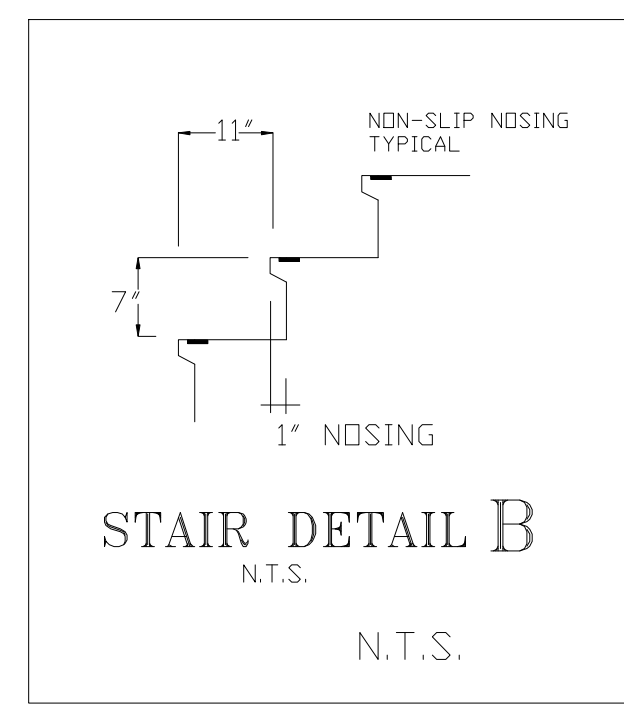
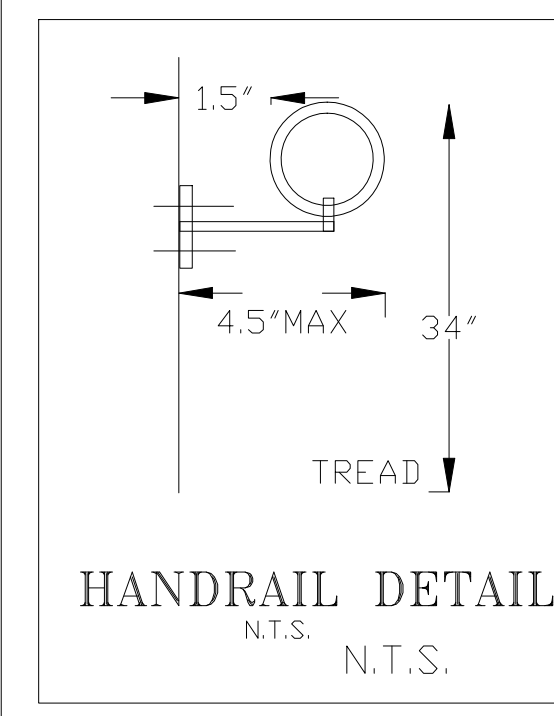
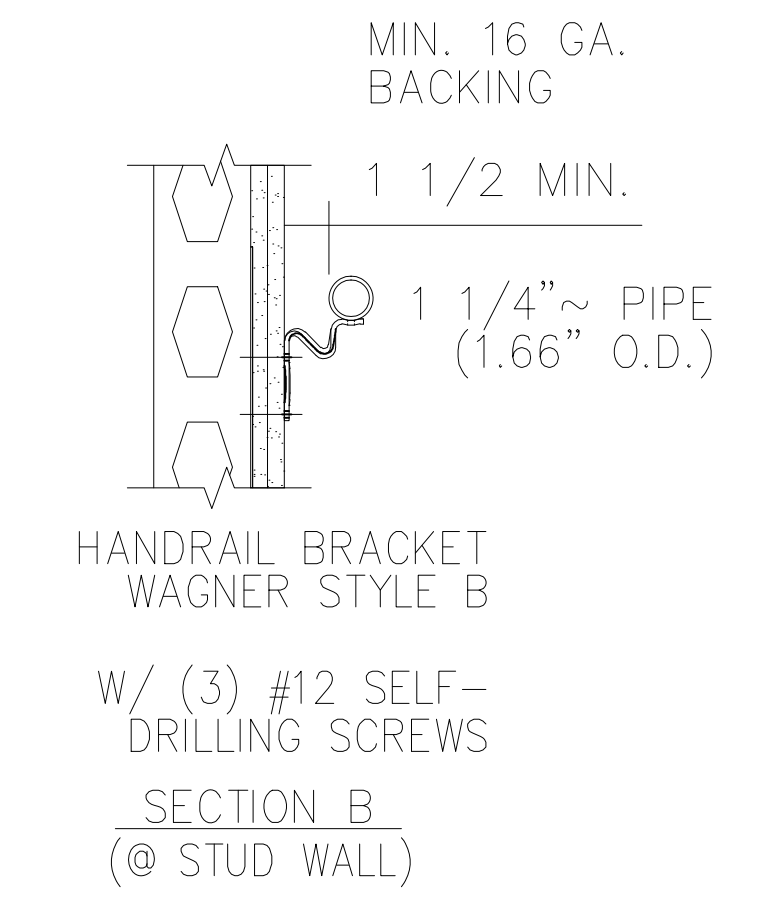
INSTALL CONT HANDRAIL FOR STAIRCASES WITHOUT ANY OBSTRUCTIONS

PROVIDE HANDRAIL ON BOTH SIDES FOR 44" OR WIDER STAIRS. ALL HANDRAILS TO BE 1 1/4 TO 2 1/4" DIA OR PERIMETER DIMENSION OF 4" TO 6 1/4", W/ CROSS SECTIONAL DIMENSION NOT TO EXCEED 2 1/4".

EXTEND HANDRAIL MINIMUM 12" AT THE BOTTOM AND MINIMUM 18" AT THE TOP/LANDING.



HANDRAILS AND GUARDRAIL WITH RETURN AT THE WALLS OR FLOOR

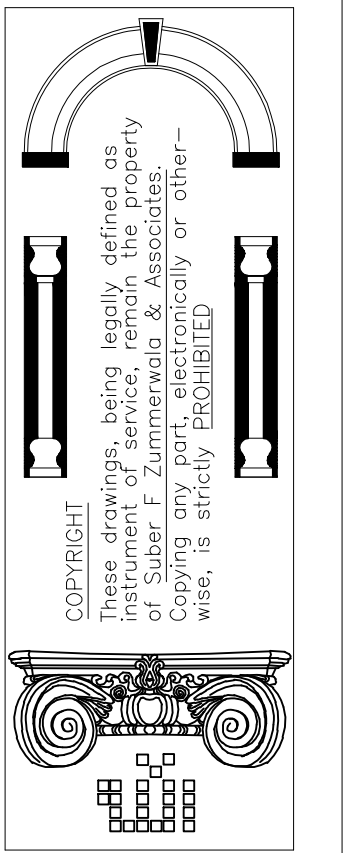
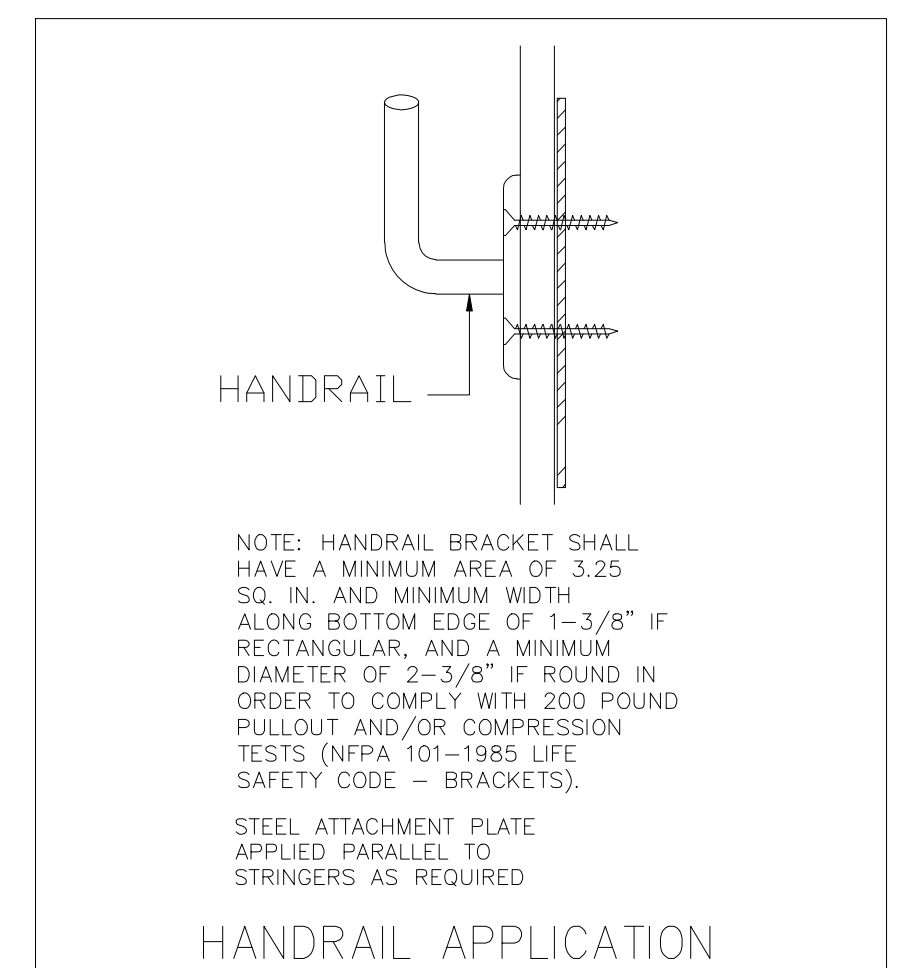


NON SLIP SURFACE AT TOP OF ALL LANDINGS AND EDGE OF ALL TREADS

DETECTABLE WARNING SHALL BE PROVIDED AT THE TOP OF ALL STAIR RUNS.

FABRICATOR TO SUBMIT SHOP DRAWINGS FOR REVIEW.

TYPICAL: CONCRETE FILLED METAL PAN STAIRS W/ CONT. HANDRAIL 7" MAX RISERS 11" MIN TREADS NOSE TO NOSE 1" NOSING

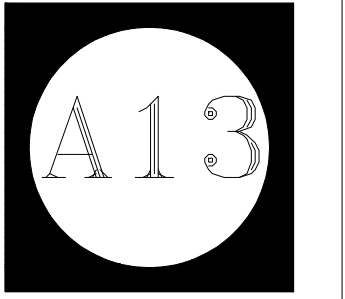


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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
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GENERAL NOTES AND SPECIFICATIONS

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
ALL WORK SHALL MEET ALL APPLICABLE CODES AND ORDINANCES OF BARRINGTON HILLS, ILLINOIS.

CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND FIELD CONDITIONS.
THIS CONSTRUCTION DOCUMENT HAS BEEN PREPARED BASED ON SOIL BEARING CAPACITY OF 3000 P.S.F. IT IS THE RESPONSIBILITY OF OWNER/CONTRACTOR TO INFORM THE ARCHITECT IF THE SOIL CAPACITY DIFFERS.

BUILD OUT WALLS AND CEILINGS AS REQUIRED FOR ALL MECHANICAL AND PLUMBING RUNS.
DOUBLE HEADERS AND RAFTERS AROUND ALL SKYLIGHTS AND DORMERS.
ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 12" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.

ALL GUARD RAILINGS TO BE MIN. 36" HIGH WITH SPINDLES SPACED SUCH THAT A 4" DIA SPHERE CAN NOT PASS THRU.
PROVIDE DRYWALL FLOOR TO CEILING BEHIND ALL TUBS ON OUTSIDE WALLS.
COMBUSTIBLE MATERIALS SHALL NOT BE PLACED OR INSTALLED WITHIN 12" OF FIREPLACE OPENINGS.
FINISH SHOWER AND BATH TUB WALLS W/ NON-ABSORBENT FINISH TO MIN. 6'-6" HIGH.

EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF FACE BRICK, SHEATHING AT SIDING/CONCRETE. INTERIOR DIMENSIONS ARE TO THE WOOD STUDS. CONFORM TO ALL DIMENSIONS INDICATED IN PREFERENCE TO SCALED DIMENSIONS FROM THE BLUEPRINT.

OWNER AND ARCHITECT SHALL NOT BE HELD LIABLE FOR INJURY INCURRED BY CONTRACTOR OR CREW, AND SHALL REMAIN HARMLESS THROUGHOUT THE COURSE OF WORK.

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME. ANY DISCREPANCY IN DRAWINGS OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.

ALL CONTRACTORS MUST CARRY PUBLIC LIABILITY AND WORKMAN'S COMPENSATION INSURANCE TO THE SATISFACTION OF THE OWNER.

ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES AND MUST BE COMPLETED IN A WORKMANLIKE MANNER ACCORDING TO STANDARDS AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT. ANY AND ALL SUBSTITUTIONS EQUAL OR BETTER SHALL BE APPROVED BY THE ARCHITECT.

WHEN CONSTRUCTION HAS COMMENCED AND A CONDITION IS FOUND TO EXIST WHICH WAS UNKNOWN OR UNOBSERVED, IT IS THE CONTRACTORS' RESPONSIBILITY TO NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.

ALL MATERIALS SHALL BE SAFELY ORGANIZED IN SUCH A WAY AS TO INFLECT MINIMUM DAMAGE, OVERNIGHT AND WEEKENDS ESPECIALLY. EACH TRADE SHALL BE RESPONSIBLE FOR REMOVING THEIR OWN DEBRIS FROM THE SITE TO MAINTAIN A NEAT, ORDERLY CONSTRUCTION AREA.

ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

HVAC CONTRACTOR SHALL SIZE AND PROVIDE LABOR AND MATERIALS FOR INSTALLATION OF ALL EQUIPMENT, DUCTWORK, DIFFUSERS, AND VOLUME DAMPERS FOR BALANCING TO MAINTAIN ADEQUATE HEATING AND COOLING. VERIFY ZONE CONTROLS WITH OWNER. VENT ALL VENTILATORS TO ATMOSPHERE.

PROVIDE FLASHING AT TOP OF ALL EXTERIOR OPENINGS, WINDOW AND DOOR SILLS, ROOF VALLEYS, ROOF TO WALL INTERSECTIONS, CHIMNEY TO ROOF INTERSECTIONS AND AS NEEDED.

FIRESTOP MECHANICAL PENETRATIONS, STUD, JOIST AND RAFTER SPACES TO MEET LOCAL CODE REQS.
DOUBLE RAFTERS AND HEADERS @ SKYLIGHTS

SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE WITH ALL MECHANICAL, PLUMBING, ELECTRICAL AND FIRE SAFETY SYSTEMS IN PERFECTLY OPERATIONAL AND IN SATISFACTORY CONDITION. CONTRACTOR TO INSTALL ALL ITEMS AND COMPONENTS TO ACHIEVE THIS RESULT.

CONTRACTORS TO VERIFY ALL MATERIALS AND INSTALL THE SAME AS PER MANUFACTURERS PRINTED INSTRUCTIONS. ALL MATERIALS AND BUILDING COMPONENTS SHALL BE NEW, UNAD.

CONTRACTORS TO BE FULLY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES AND CONDITIONS INCLUDING ALL OSHA AND SAFETY REQUIREMENTS.

CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NDR SHALL THEY BE IN EXCESS OF DESIGN LOADS SHOWN ON PLANS.

CONTRACTORS SHALL STRICTLY ADHERE TO ALL APPLICABLE LAWS, CODES AND ORDINANCES.
ALL MANUFACTURED ITEMS, COMPONENTS, ASSEMBLIES SHALL BE STRICTLY INSTALLED AS PER MANUFACTURERS PRINTED INSTRUCTIONS.

ALL LOCATIONS WHERE AIR, WATER OR JUST MIGHT INFILTRATE TO INTERIOR SHALL BE CAULKED ON BOTH SIDES. SET EXTERIOR EDGES OF ALL EXTERIOR THRESHOLDS IN CAULKING TO PROVIDE A WEATHERTIGHT SEAL.

WEATHERTIGHT SEAL, CAULK AND SEAL ALL EXPOSED EXTERIOR AND INTERIOR JOINTS ABOVE AND BELOW GRADE AND ALL JOINTS AND APPENDAGES CONCEALED BY OTHER MATERIALS, FLASHINGS ETC WITH CAULK OR SEALANT AT EXPOSED AREAS IN COLOR TO MATCH SURROUNDING SURFACES.

CAULK ALL JOINTS AROUND OPENINGS TO PROVIDE A WEATERTIGHT AND AIRTIGHT SEAL. CLEAN ALL JOINTS THOROLY, AREAS ADJACENT TO JOINTS SHALL BE MASKED TO OBTAIN A NEAT SEALER LINE. ALL JOINTS GREATER THAN 3/8" SHALL BE FILLED WITH BACKUP ROD.

PROVIDE CEILING AND WALL ACCESS PANELS WHERE REQUIRED BY CODES FOR HVAC, ELECTRICAL, SPRINKLER SYSTEM OR OTHER TRADES. PROVIDE APPROVED PANELS WITH SELF CLOSERS FOR ALL FIRE RATED ASSEMBLIES. ALL PENETRATIONS AND PIPES GOING THRU RATED ASSEMBLIES SHALL BE PROTECTED AND RATED.

FIRESTOP ALL FURRING, PARTITIONS, AND OUTSIDE WALLS AT LEVEL OF EACH FLOOR AND CEILING AND VENTURE OF ROOF AND WALLS, WOOD OR MASONRY TIGHTLY FITTED.

PROVIDE FLASHINGS AT TOP OF ALL EXTERIOR OPENINGS, WINDOWS, DOORS, ROOF TO WALL JUNCTIONS AND WHERE CALLED FOR IN PLANS.

INSTALL FIRE DAMPERS AT ALL LOCATIONS WHERE AIR DISTRIBUTION SYSTEMS PENETRATE FIRE RATED ASSEMBLIES. FIRE DAMPERS SHALL COMPLY WITH UL555 AND SHALL BE SO LABELED FIRE DAMPERS SHALL BE CAPABLE OF MAINTAINING THE FIRE RATING.

GYPSUM BOARD AND DRYWALL WORK SHALL MEET ALL REQUIREMENTS OF ANSI N10497-1, FOR THE APPLICATION AND FINISHING OF WALLBOARD. JOINT COMPOUND SYSTEMS SHALL BE MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS PRINTED DIRECTIONS. INSTALL METAL CORNER BEADS @ ALL CORNERS.

ALL MATERIALS, INSTALLATION AND WORKMANSHIP FOR CERAMIC TILES SHALL COMPLY WITH ANSI SPECIFICATIONS A98.4 AND 108.5 AND ALSO "HANDBOOK FOR CERAMIC TILE INSTALLATION", PUBLISHED BY THE TILE COUNCIL OF AMERICA. ALL TILES SHALL COMPLY WITH ANSI SPECIFICATION FOR CERAMIC TILE A137.1.

JUNCTION BETWEEN DISSIMILAR SURFACES TO BE GROUTED WITH G.E. SILICONE RUBBER SEALANT.

APPLY MOISTURE PROTECTION IN STRICT ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS.

CAULK ALL JOINTS AROUND OPENINGS TO PROVIDE A WEATERTIGHT AND AIRTIGHT SEAL.

All shower head heights to be 80" AFF at fiberglass tub/showers surrounds and 84" AFF at ceramic tub/showers surrounds.

Pre-fab fireplace chase inside face to top w/ 5/8" firecode gyp. Electrical panels boxes to have outside ground and ground to street side of meter. Jumping water meter not allowed.

- It shall be assumed that all contractors are experienced and thoroughly knowledgeable in their respective areas of construction and shall perform in a responsible manner in established construction sequence. Recognizing propriety of drawings and details and shall inform the owner of potential problems when the drawings are unclear or inconsistent.

Contractor shall be responsible to notify owner of discrepancies or conflicts in these drawings found during bidding and/or construction prior to performing the work. The owner shall resolve such discrepancies expeditiously and notify contractor either verbally or in writing as applicable to the condition.

Contractor shall verify existence and location of all utility services and coordinate as required, notifying the owner of variations or conflicts.

If not specifically defined on these drawings. Material and/or equipment shall be identified by contractor to the owner within a reasonable time to allow selection, purchase, and delivery so as to prevent delay in the job schedule.

Material substitutions shall be approved by the owner prior to purchase and installation. Owner is not responsible for non-approved substitutions.

All material shall be handled and installed per manufacturer's specifications and recommendations.

Written dimensions on all drawings shall take priority over scaled dimensions.

Contractors shall verify and assume responsibility for dimensions and conditions on the job site. Any discrepancy or variations from the dimensions and conditions on these drawings shall be brought to the notice of the owner prior to the commencement of any work.

All work shall be performed in accordance with plans issued for construction only.

Contractor shall be responsible for initiating, maintaining and supervising all safety precautions and programs in connection w/ the work.

All contractors shall be responsible to keep the site clear of material, tools, and debris. A dumpster will be provided on site for all contractors use.

All contractors and subcontractors performing underground work shall contact JULIE at 1-800-892-0123 at least 48 hours prior to the start of any work.

All work performed shall comply with all applicable Local and State Building codes, Ordinances, and Regulations and all other authorities having jurisdiction.

SITE WORK

If suitable soil bearing is not encountered at the depth shown on the drawings, notify the owner before proceeding with work. All fill below slabs shall be compacted to 95% dry proctor density. Use only sand or gravel for backfilling inside of foundation. Create proper site drainage away from building, with no pockets. Install driveway from garage to street. If required, include breakout & repair on curb & gutter. Install concrete public sidewalk if required and install accordance with governing regulations.

- Design Loads:

FLOOR	= 40# LL 10# DL ALL AREAS
WALL	= 60# PLF DR ACTUAL LOAD
CEILING/VATTIC	= 10# LL 10# DL ROOF SLOPES UP TO 3 IN 12
CEILING/VATTIC	= 20# LL 10# DL ROOF SLOPES OVER 3 IN 12
ROOF	= 30# LL 15# DL ALL SLOPES
CATHEDRAL	= 30# LL 15 # DL ALL SLOPES
DECK	= 60# LL 10# DL EXTERIOR
BALCONY	= 60# LL 10# DL EXTERIOR

- CONCRETE

- Foundation types and designs may vary with the individual pertinent soils conditions on each lot. The Architect does not warrant or guarantee this building design in locations where inadequate soils or landfill occurrences require special or additional design for structure or gas mitigation due to these occurrences.
- All design, revisions, engineering, installation and liability of soil conditions, gas mitigation and structural designs due to inadequate soils or landfill occurrences shall be the responsibility of the "BUILDER" - OWNER or it's subcontractors involved with the design and installation of such; and the Architect shall not be held liable or responsible for their implementations.
- Contractor shall be responsible for size, location and installation of revised steel reinforcing per local codes or specific soil conditions, whichever is more restrictive.
- 1/2"x10" anchor bolts @ 4'-0" o.c. max.; minimum 2 bolts in each piece of wall plate, 12" max. from foundation corners.
- Soil test must be approved by Geo technical Engineer prior to footing pour.
- All concrete footings are designed to bear on minimum soil pressure of 3000 p.s.f. and shall be placed on firm, undisturbed soil 3'-6" minimum below grade. Contractor to reinforce concrete footings and poured concrete walls as required for specific soil conditions or local codes, whichever, is more restrictive.
- All concrete slab obtain a 28 day compressive strength as follows:

Garage slab	4000 p.s.i.
Basement floor slab	3000 p.s.i.
Sloop & Patio slabs	3500 p.s.i.
- Provide minimum 4" concrete cover at under slab utility locations. When concrete encasement of utility lines is required, increase slab thickness at the utility line. Install utilities lines well below slab.
- Provide isolation joint material (asphalt impregnated) between foundation walls and all slabs including patio, porch and sidewalks.
- Provide "Zip Strip" or tooted control joints where indicated on the foundation plans.
- Contractor shall be responsible for providing a level top of foundation for the framing contractor.

- STRUCTURAL STEEL

- All Structural steel shall conform with ASTM specifications A-36.
- All bolts to conform to ASTM A325-617, 3/4"
- All pipe columns shall conform to ASTM A-615

- FRAMING

- Laminated veneer lumber (LVL) shall provide the design values equal to or exceeding the following:
2800 psi in Bending, Fy
285 psi in Horizontal Shear, Fv
2,000,000 psi in Modulus of Elasticity, E
- Unless otherwise noted, all dimension framing lumber shall be Can. SPF or Hem Fir #2 unless otherwise noted, and shall have an allowable bending stress + 850 psi MIN
- Unless otherwise noted, provide:
 - Double Headers and Trimmers at all floor openings.
 - Double framing members under all parallel partitions (spread apart as required to allow mechanics to penetrate walls above).
 - Double 2x12 headers with 1/2" plywood between (unless noted otherwise) at all openings in EXTERIOR walls.
 -

- 3/4" high density T & G, CDX plywood subfloor glued and nailed. Panel span rating shall be APA 24/32, Exposure 1, with sealed edges. Install per manufacturers' spacing and edge recommendations.
- 1/4" underlayment (minimum) under vinyl or tile on wood frame floor systems.
- 1/2" CDX plywood roof sheathing. APA panel span rating shall be 16/0, exposure 1, with sealed edges. Install per manufacturers' spacing and edge recommendations.
- Double 2x6 strongback @ mid span for ceiling joists with spans greater than 10'-0".
- Color ties down MIN 1/3 of the vert. distance between the ridge board and ceiling joists.
- Double floor joists under whirlpool tubs.
- Double framing members min. around openings in rafters, floors, and ceilings, DORMERS AND SKYLITES etc.

- INSTALL ONLY plywood sheathing behind all masonry veneer, and cedar accent siding. See elevations for locations.

- Pressure treated lumber to be used where wood is in contact with concrete and for 2x mud sill.

- Exterior deck construction shall be with pressure treated lumber and R.S. cedar with dimensions as indicated on the plans.

- Exterior wall sill plates shall be 2x6 pressure treated lumber beams.

- Contractor shall be responsible for providing steel leveling shims at foundation if leveling is needed.

- 5" min. house numbers of contrasting color posted within 10' of the front door facing the street from the time the front wall is up.

- All columns or solid framing should carry load and extend down through the levels below and terminate at the foundation, structural steel, or at other bearing points designed to carry the load.

- Cross bridging shall be solid 2x's, at midspans, IF SPAN IS MORE THAN 15'

- Use 2x6 studs @ 16" o/c with all walls over 10'-0" & exterior walls in the basement.

- Use metal joist hangers on all joists butting to headers.

- Interior trim and finishes to be selected by owner.

- All railing to comply with "Recommended railing schedule" of the National Building Code.

- Lap on joists min. 3"

- MASONRY

- Do not lay masonry in temperatures less than 40° F
- Set steel ladders in beds of mortar
- Lay brick plumb, level, and true to line in full beds of mortar. Lay brick in running bond all joints in brickwork and the connection to other materials shall be filled with mortar as each course is laid.
- Do not retemper mortar, provide joints of uniform thickness max. 1/2"
- Provide 3/16" corrosion resistant corrugated wall ties 24" o/c horiz. and 19" o/c vert. securely anchored to studs.
- Base flash to extend min. 6" under building paper.
- Provide weep holes @ 24" o/c by leaving first course head joint open.

- SIDING & ROOFING

- INSTALL SIDING AS PER ELEVATIONS.
- Air infiltration barrier shall be applied on all exterior walls. Install as per manufacturer's requirements.
- Air infiltration barrier over wall sheathing at all masonry veneer, wood siding and wood trim locations.
- 240 #, 3 tab, self-sealing fiberglass shingles on 15# roofing felt on 5/8" CDX PLYWOOD SHEATHING.

- Install #15 felt under all shingles.
- Nails (hand nailed) only to be used for roof shingle attachment. No staples allowed.
- Flush all joints and corners.
- Gutters to be 4" .032 gauge aluminum with baked enamel finish. Downspout to be 4" .20 gauge aluminum with baked enamel finish.

- INSTALL CONT ICE SHIELD UNDER THE ROOFING SHINGLES W/ MIN 2 LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR A WATERPROOF MEMBRANE EXTENDING FROM THE DAVE EDGE TO MIN 24" INSIDE OF EXTERIOR WALLS

- Ridge vent to have external baffles and mesh filters and shall have a min. net free area of ventilation of 1 to 300 ratio with 50% to be at ridge and 50% at eaves. Soffits to be of continuous perforated prefinished aluminum. Install per manufacturer's requirements to insure proper ventilation. All soffits and fascias to be an integrated aluminum system.

- INSULATION

- Provide R-19 batt insulation in all exterior walls and R-48 blown insulation (or batt and blown insulation) in all ceilings or rafters adjacent to the exterior or to unheated spaces, plus R-19 at exposed floors and cantilevered floors or fireplace chases.

specs. R-19 batts at fireplace chase walls and under fireplace unit.

- DRYWALL

- All walls and ceilings to have 1/2" gypsum @ 16" o.c. at framing unless otherwise noted.
- Garage to have 5/8 firecode drywall with 1 coat of fire tape on all walls BEAMS, COLUMNS and entire ceilings, unless noted otherwise.
- Utility rooms with furnace to have one layer 5/8" firecode drywall. Finish top all walls and ceiling.
- Use water resistant durlock for exposed walls at shower and tub wall areas receiving fiberglass enclosure.

- INTERIOR TRIM AND FINISHES to be selected by owner.

- DOORS & WINDOWS

- All patio doors - operable leaf inside.
- Window supplier to verify at least one window in all bedrooms to have a clear egress opening of 5.7 sq. ft. with min opening dimensions of 24" in height and 20" in width. Sill height not greater than 44" above finished floor.
- Door and window infiltration shall be in accordance with village ordinance and shall meet performance standards ANS/AAMA 101-88 for metal windows DH-140 for vinyl windows and the CRF shall not be less than 55.
- Provide insulating double glazing at all exterior glass areas and tempered glass in all sliding glass doors and plates (all sides of openings) and head flash all windows and doors.
- Caulk at all sash, sliding glass doors, entrance doors and bottom in windows as per local codes.

- PLUMBING

- Sub contractor shall be responsible for the design and layout of the plumbing system.
- All plumbing & water lines shall comply to all governing codes.
- When necessary to run branches in ext. wall they shall be well insulated to insure against freezing.
- All gas piping to be in accordance with all ordinances.
- Water lines to be copper piping 3/4" mains, 1/2" branches, 12" air cushions. Piping below slabs to be cast iron.
- Provide cleanouts for 100% probability.

PLUMBING NOTES

- ALL PLUMBING WORK TO MEET STATE OF ILLINOIS AND LOCAL PLUMBING CODES
- ALL SUPPLY PIPING TO BE COPPER TYPE "K" FOR BELOW GROUND AND TYPE "L" FOR ABOVE GROUND.
- PROVIDE SHUT OFF VALVES TO ALL FIXTURES
- PROVIDE 12" AIR CHAMBERS TO ALL FIXTURES AND 24" TO ALL RISERS
- ALL WASTE PIPING TO BE PER CODES
- ALL FLOOR DRAINS TO BE VENTED
- DO NOT WET VENT.
- PROVIDE SHUT OFF VALVE ON BOTH SIDES OF THE WETER
- WATER SUPPLY AND WASTE PIPES SHALL NOT BE INSTALLED IN EXTERIOR WALLS.
- SEWER EJECTOR PIT TO BE VENTED AS PER STATE CODES.
- ALL PLUMBING PIPES TO BE PROTECTED FROM FREEZING AT ALL OUTSIDE AND GARAGE WALLS.

ALL WALL TOP PLATES TO BE LAPPED AT CORNERS

INSTALL CONT HANDRAIL FOR STAIRCASES WITHOUT ANY OBSTRUCTIONS OR NICKEL EDGES. THE HANDRAIL TURNOUT OR VOLUME AT FLOOR MUST EXTEND TO THE EDGE OF WALKING. PROVIDE HANDRAIL ON BOTH SIDES OF PERIMETER DIMENSION OF 4" TO 6 1/4", W/ CROSS SECTIONAL DIMENSION NOT TO EXCEED 2 1/4"

PROVIDE SAFETY GLAZING IN ANY GLASS ADJACENT TO TUB OR SHOWER WITHIN 60" ABOVE THE DRAIN INLET.

PROVIDE SAFETY GLAZING IN ALL GLASS DOORS, OPERABLE DR FIXED, SIDERITES ADJUNCT TO ANY DOORS AND ANY GLASS LESS THAN 18" ABOVE FINISHED FLOOR

- HVAC

- Sub contractor shall be responsible for the design and layout of the heating system.
- All exhaust fans vent to exterior, not roof or attic vents.
- Heating systems shall be capable of heating the residence to 72° F at outside temp. of -10° F and wind of 15 mph with heat loss calculated in accordance with current ASHREA standards. Air conditioning system shall be capable of cooling the residence to 74° F at outside temp. of 95° F and maintaining 40° F indoor relative humidity with AC load calculated in accordance with current ASHREA standards.
- Ducts shall be first prime grade sheets of galvanized iron 20-26 ga. Gauge and bracing as duct dimension requires. Insulate ducts in unheated spaces. Provide dampers in ducts and @ registers for system balance purposes.
- Provide 2" min. insulation @ heat supplies @ exterior walls.
- Provide combustion air to all gas fired equipment AS PER MANUFACTURER.

- ELECTRICAL

- Sub contractor to be responsible for the design and layout of the electrical system. SUBMIT PANEL SCHEDULE FOR APPROVAL.

BATHROOM OUTLETS TO BE ON 20AMP BRANCH CIRCUIT, DEDICATED.
THE DINING ROOM AND KITCHEN OUTLETS SHALL BE ON 20AMP BRANCH CIRCUIT.
LAUNDRY OUTLET TO BE ON DEDICATED, 20AMP BRANCH CIRCUIT.
ALL 1/2 HP OR LARGER MOTORS MUST BE ON DEDICATED BRANCH CIRCUIT.

PROVIDE ELECTRICAL OUTLETS WITHIN ALL HABITABLE AREAS NO MORE THAN 12' APART, WITHIN 6' OF ANY DOOR OPENINGS AND ON ANY WALL 2' WIDER OR MORE, INCLUDING FOYER. ALL COUNTERTOP OUTLETS TO BE GFI PROTECTED SPACED SO THAT THEY ARE NO MORE THAN 4' APART AND ON COUNTER/WALL SPACE 12" OR WIDER.

GROUNDING ELECTRODE CONDUCTOR TO RUN CONTINUOUS FROM THE NEUTRAL BUS BAR IN THE MAIN PANEL TO THE STREET SIDE OF THE WATER METER (WITHIN 5' OF ENTRY TO THE BUILDING), JUMPERED AND TAGGED. PROVIDE MIN #8 COPPER WIRE. A SUPPLEMENTAL GROUND SHALL ALSO BE INSTALLED. CLOSET LIGHTS TO BE GLOBED, FLOURESCENT OR RECESSED AND MORE THAN 6" ABOVE THE SHELF.

ELECTRICAL PLAN NOTES

ALL ELECTRICAL WORK TO COMPLY WITH NEC CODES WITH LOCAL AMENDMENTS

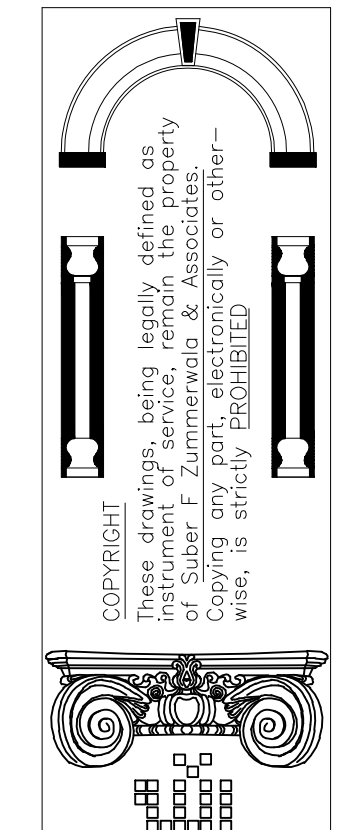
- ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
- ALL SMOKE DETECTORS AND CO. DETECTORS TO BE 110 v w/ BATTERY BACKUP, WIRED IN SERIES, INTERCONNECTED TO ALL OTHERS.
- MIN 15'-0" FROM ALL BEDROOM DOORS.
- MIN 1 SMOKE DETECTOR PER FLOOR AND ONE PER INSIDE BEDROOM. DETECTORS SHALL HAVE A VISIBLE LIGHT TO INDICATE ITS PROPER OPERATION.
- PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- ALL CLO FANS AND CHANDELERS TO BE ADEQUATELY REINFORCED WITH UL LISTED FAN BOXES.
- GARAGE TO BE ON SEPARATE CIRCUIT

- THERMAL AND MOISTURE PROTECTION

- Unless otherwise noted provide R-19 batts in all ext. wall w/ vapor barrier to warm side, R-39 batts in all ceiling, or rafters adjacent to the exterior or the unheated spaces w/ vapor barrier to warm side. Intersection of dissimilar materials to be caulked w/ non-hardening and non-staining caulk.
- Exposed paper of insulation in basement must have a flame spread rating of 25 or less.
- Metal flash all openings, roof/siding junction, window & door heads, or as otherwise required by codes.

- ADDITIONAL MECHANICAL & ELECTRICAL

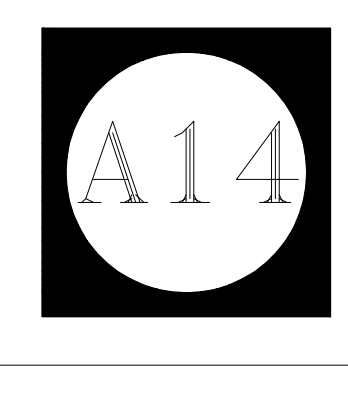
- Pre-fabricated fireplace shall be protected with a hearth of noncombustible material. Fire stop chimney at all floor, ceiling and roof penetrations. All fireplaces shall be U.L. approved. Fireplace flue shall be equipped with an approved spark arrester. Insulate all chase walls and 1st floor ceilings above fire box.
- All electrical and plumbing requirements shall comply with local building codes. All outdoor, bathroom and garage wall receptacles shall be provided with ground fault circuit protection. Service panels to be 40 circuit, 200 amp, 110 volt. Verify with owner.
- All furnaces shall be switched.
- Provide gray box for washer and provide solid metal dryer vent (taped - no screws) to exterior and valved gas line.
- All sewer and water sleeves to be depth and separation as per local code below adjacent finish grade.
- In all buildings a continuous conduit shall be installed from the water meter to an exterior remote water meter reader at a location to be approved by the Water Department. The conduit shall be capable of accepting a low voltage minimum 2 conductor cable supplied and installed by the electrical contractor. The cable shall be copper and a minimum #18. The water department shall make the connections.



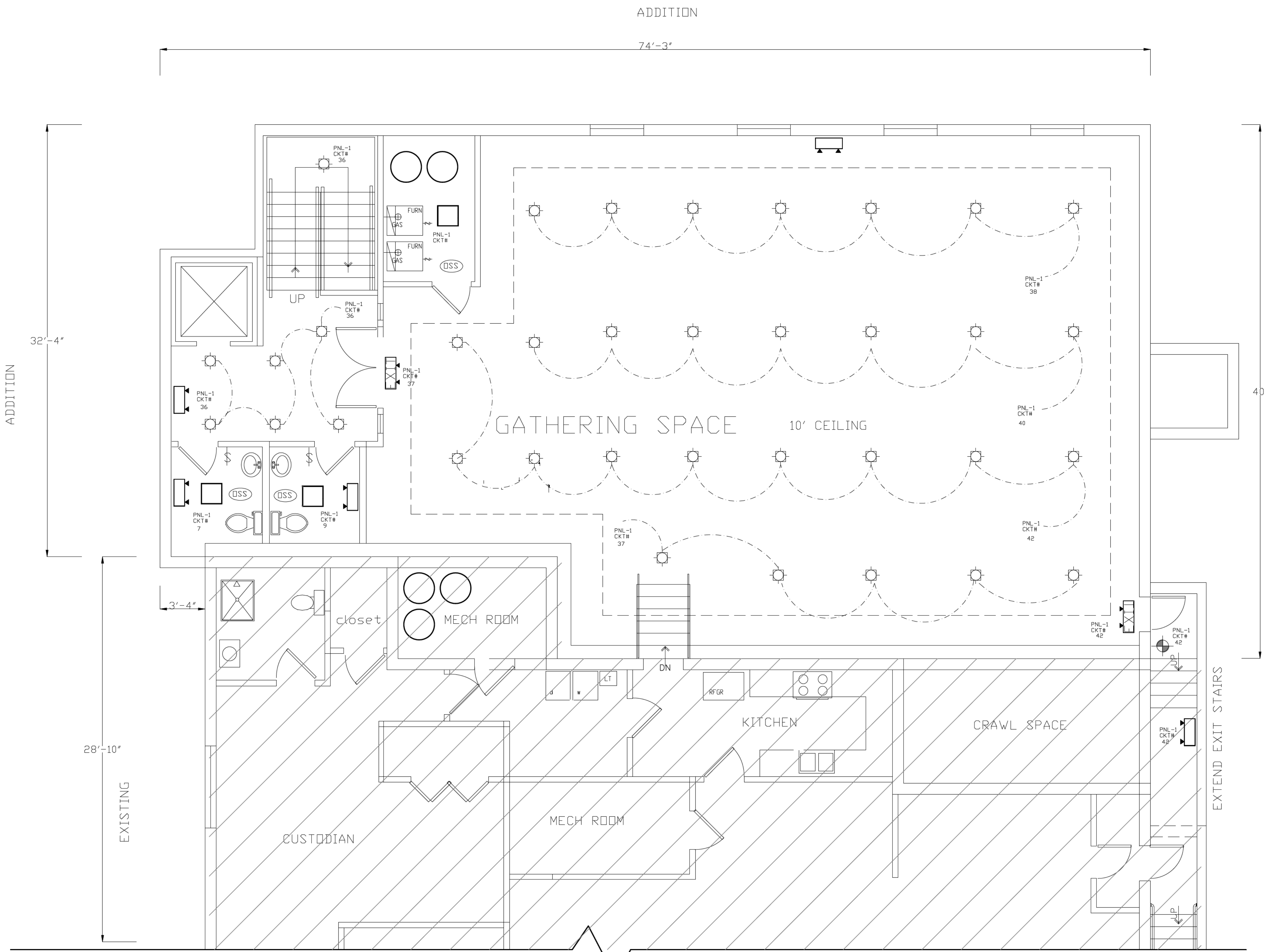
Suber F. Zimmerwala & Associates
ARCHITECTS & PLANNERS
DESIGN FIRM L.C. NO. 184-00-0407
333 W. Irving Park Road, Suite # 202
Roseville, IL 60172
PH: 847.951-0472
DESIGN FIRM L.C. NO. 184-00-0407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HATHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE



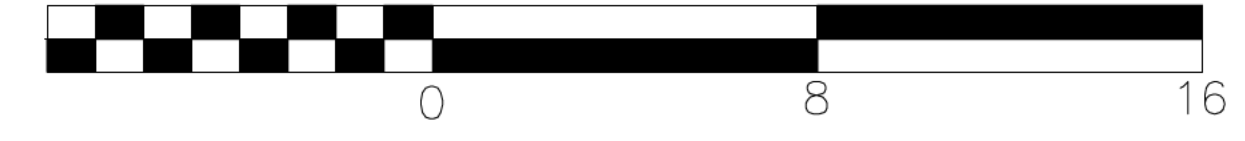
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CHECKED BY: SZ
PROJECT NO.: 23321
DATE: 04/5/24



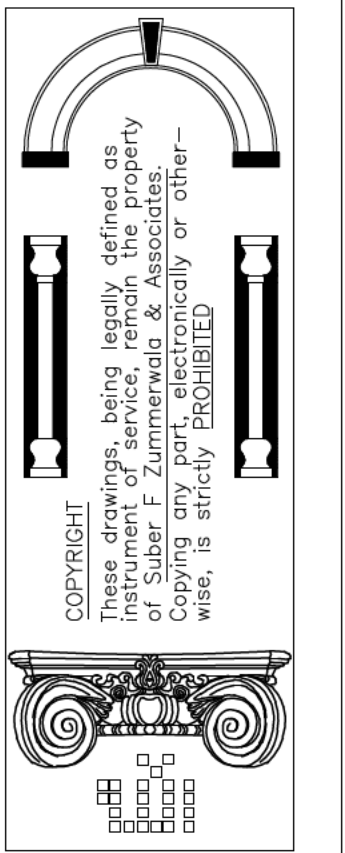
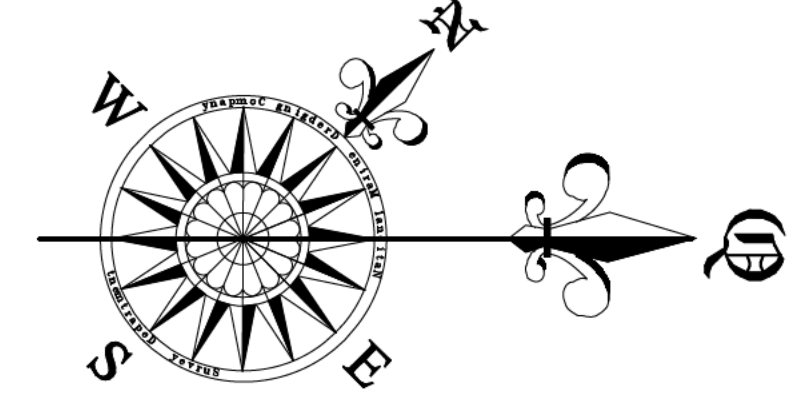
- 2X4 FLUOR LIGHT FIXTURE
W/ DIFFUSER LENSE
LED LAMPS
- 2X2 FLUOR LIGHT FIXTURE
W/ DIFFUSER LENSE
LED LAMPS
- LED LIGHTED EXIT SIGN COMBD
EMERGENCY LIGHTS WITH
BATTERY BACK-UP W/ AUTO CHARGE
PER NEC.12
- LED LIGHTED EXIT SIGN
EMERGENCY LIGHTS WITH
BATTERY BACK-UP W/ AUTO CHARGE
PER NEC.12
- EMERGENCY LIGHTS WITH
BATTERY BACK-UP W/ AUTO CHARGE
PER NEC.12
- LIGHT
- OCCUPANCY SENSOR SWITCH

- LED LAMPS
EURI
A-19-10w/EQ 60w
LIS-A1001
- LIGHT SWITCH
LEVITON
G-10V, BSD10-10
OSS/MANUAL
- DUPLEX OUTLET
LEVITON
5-20R,20-A
- EMERGENCY LIGHT
LITHONIA DUAL LIGHT
90 MINUTE
- EXIT SIGN
LQM SW3GBLN

BASEMENT LIGHTING PLAN



SCALE: 1/4"=1'

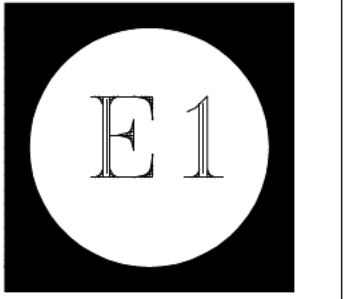


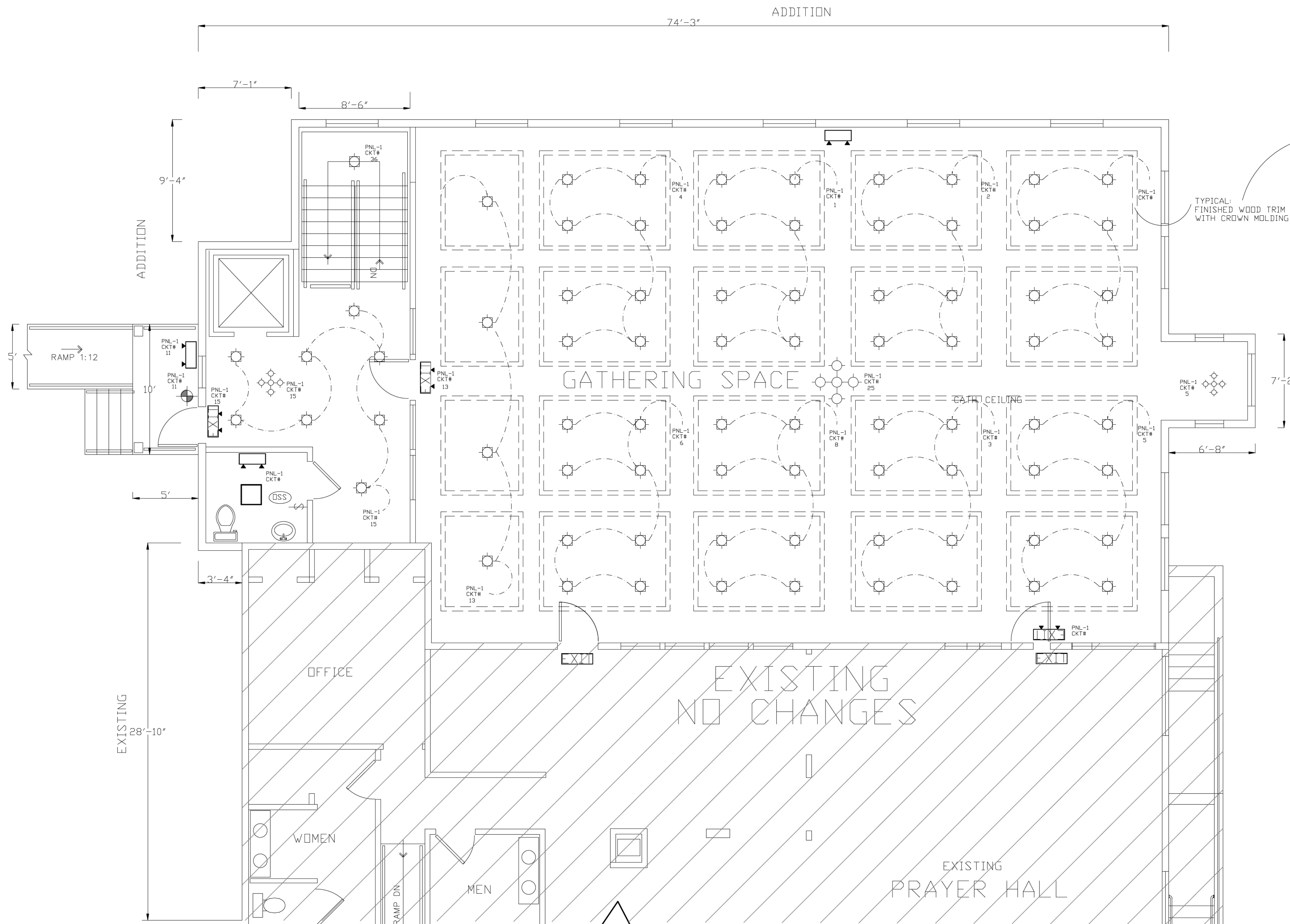
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333 W. Irving Park Road, Suite # 202
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PH: 847 951-0472
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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
100 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

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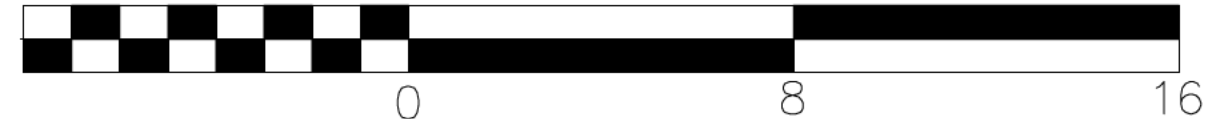




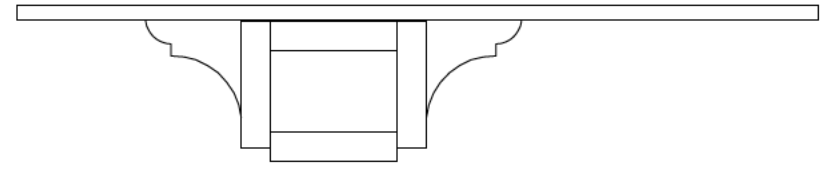
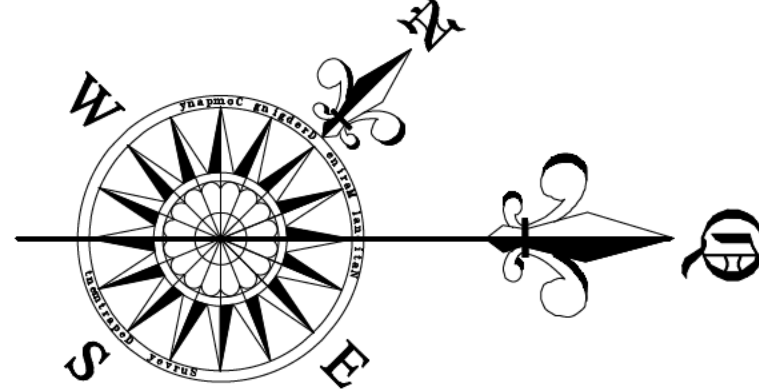
- 2X4 FLOOR LIGHT FIXTURE W/ DIFFUSER LENSE LED LAMPS
- 2X2 FLOOR LIGHT FIXTURE W/ DIFFUSER LENSE LED LAMPS
- LED LIGHTED EXIT SIGN COMBO EMERGENCY LIGHTS WITH BATTERY BACK-UP W/ AUTO CHARGE PER NEC.12
- LED LIGHTED EXIT SIGN EMERGENCY LIGHTS WITH BATTERY BACK-UP W/ AUTO CHARGE PER NEC.12
- EMERGENCY LIGHTS WITH BATTERY BACK-UP W/ AUTO CHARGE PER NEC.12
- LIGHT
- OCCUPANCY SENSOR SWITCH

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LITHONIA DUAL LIGHT
90 MINUTE
- EXIT SIGN
LQM SW3GBLN

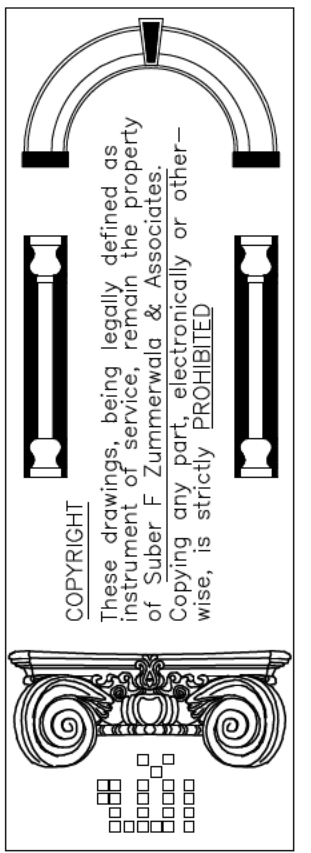
FIRST FLOOR LIGHTING PLAN



SCALE: 1/4"=1'



TYPICAL FINISHED WOOD TRIM WITH CROWN MOLDING

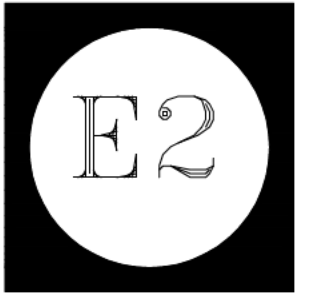


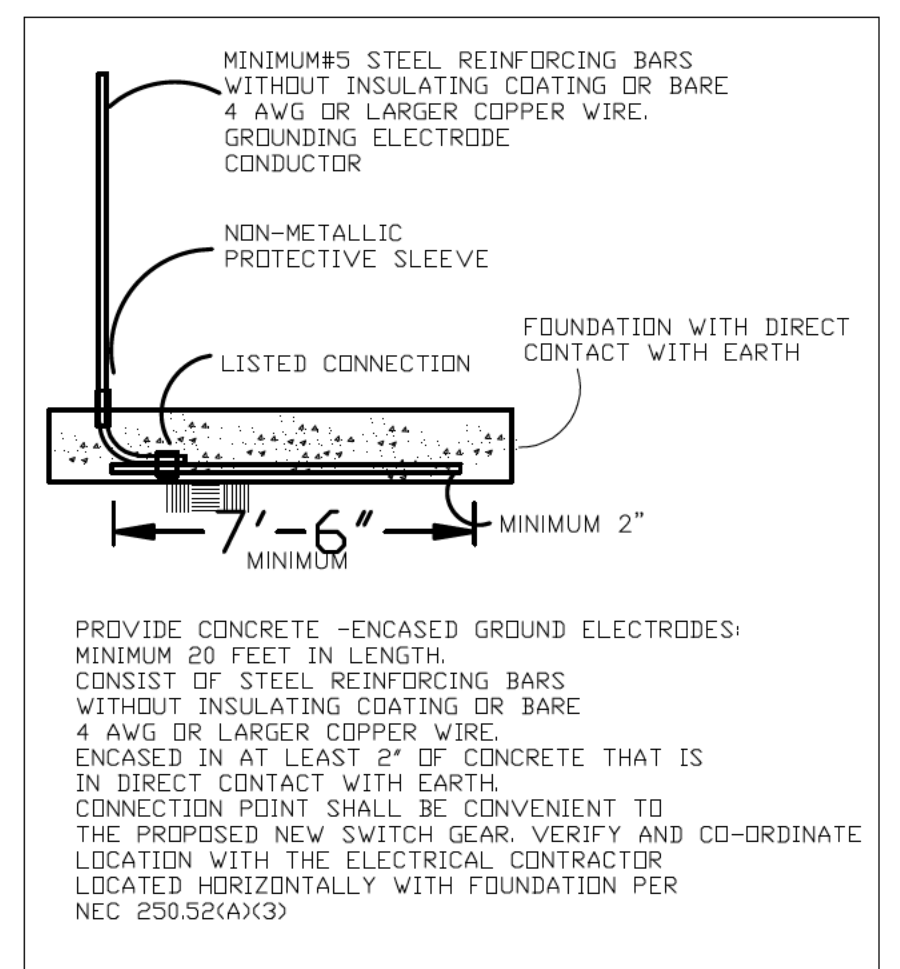
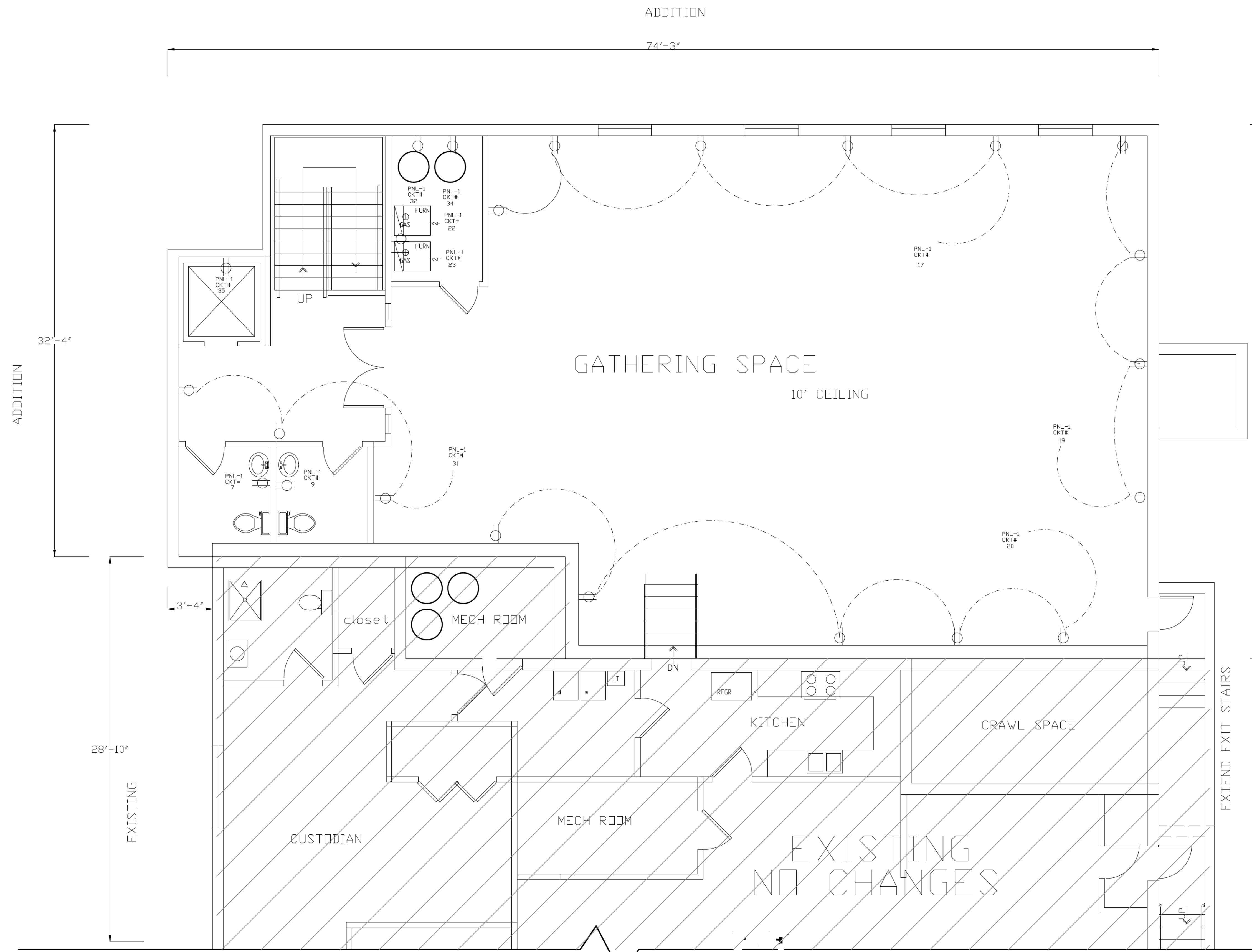
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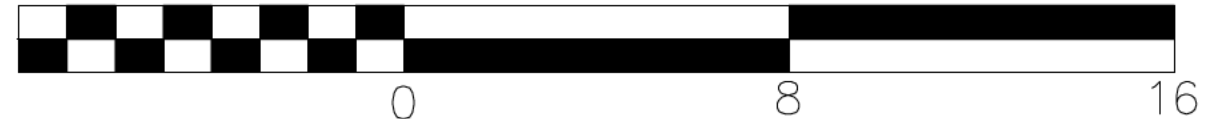




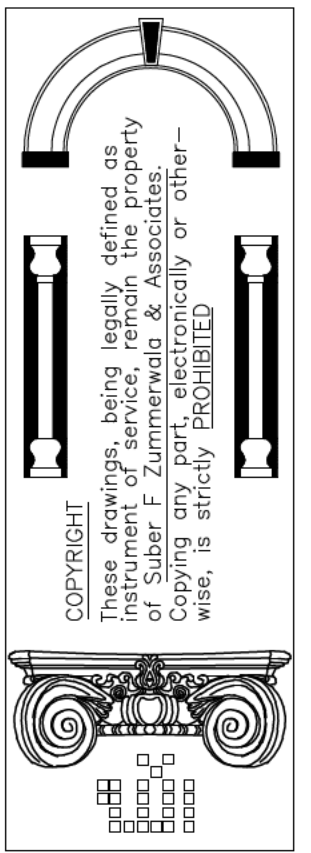
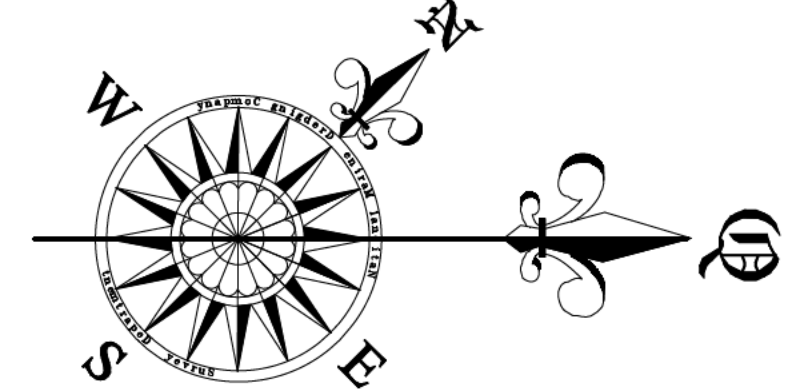
ELECTRICAL KEY

- ⊕ DUPLEX OUTLET GFIC GROUND FAULT INTERRUPTER
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ EXHAUST FAN
- ⊕ DUPLEX OUTLET-FLOOR GROUND FAULT INTERRUPTER
- ⊕ THERMOSTAT

BASEMENT POWER PLAN



SCALE: 1/4"=1'

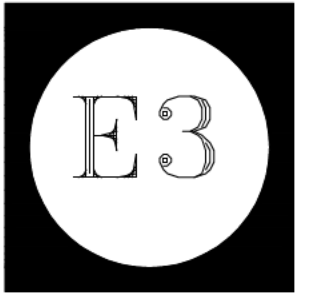


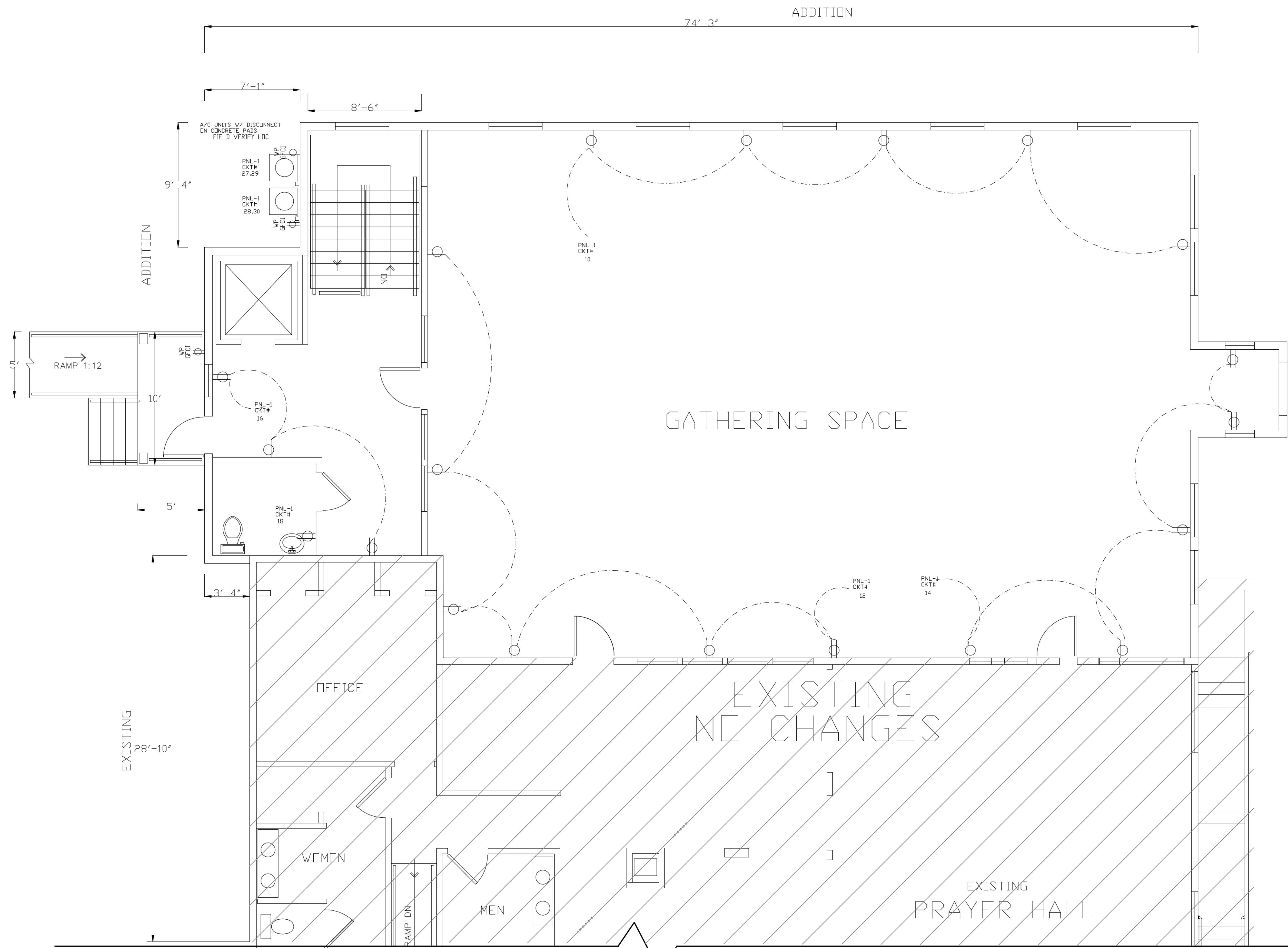
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 Roseville, IL 60017-2
 PH: 847.951-0472
 DESIGN FIRM LIC. NO. 184.004407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
 100 HAWTHORNE ROAD
 BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

DRAWN BY: MK
 CHECKED BY: SZ
 PROJECT NO.: 23321
 DATE: 04/5/24





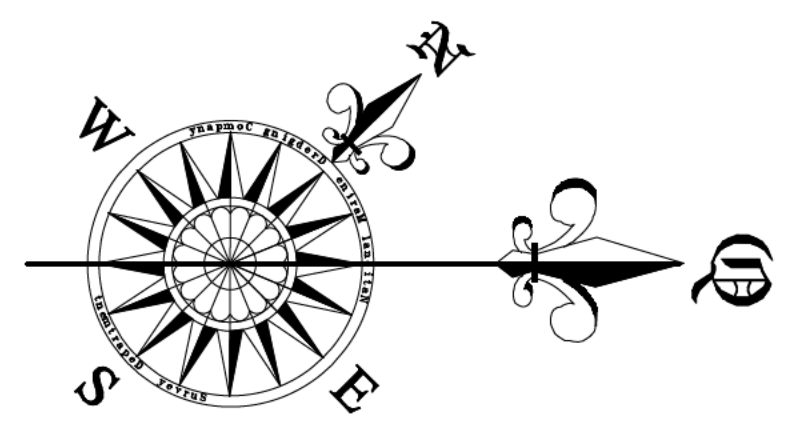
ELECTRICAL KEY

	DUPLEX OUTLET GFIC
	GROUND FAULT INTERRUPTER
	WALL SWITCH
	THREE-WAY SWITCH
	EXHAUST FAN
	DUPLEX OUTLET-FLOOR
	GROUND FAULT INTERRUPTER
	THERMOSTAT

FIRST FLOOR POWER PLAN

0 8 16

SCALE: 1/4"=1'



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* ALL CLG FANS AND CHANDELIERS TO BE ADEQUATLY REINGFORCED WITH UL LISTED FAN BOXES.

* GARAGE TO BE ON SEPARATE CIRCUIT

GROUND ROD AT METER BANK TO BE MIN 8" UNDER SOIL.
GROUNDING ELECTRODE TO BE #6 AWG COPPER WIRE FOR 200 AMP SERVICE
DINING ROOM/ KITCHEN TO HAVE MIN 2 SMALL APPLIANCE CIRCUITS.

ALL 1/2 HP OR LARGER MOTORS MUST BE ON DEDICATED BRANCH CIRCUIT.

GROUNDING ELECTRODE CONDUCTOR TO RUN CONTINUOUS FROM THE NEUTRAL BUS BAR IN THE MAIN PANEL TO THE STREET SIDE OF THE WATER METER (WITHIN 5' OF ENTRY TO THE BUILDING), JUMPERED AND TAGGED. PROVIDE MIN #8 COPPER WIRE. A SUPPLEMENTAL GROUND SHALL ALSO BE INSTALLED.

INSTALL 3 WAY AND 4 WAY SWITCHES AT ALL ENTRY EXIT POINTS IN ALL ROOMS AND HALLWAYS WITH MORE THAN ONE MEANS OF ENTRY.
ALL BRANCH CIRCUITS THAT SUPPLY 125-V, SINGLE PHASE, 15 AND 20 AMPS RECEPTACLES IN BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS. PER NEC, SECTION 210.8(B)(1).

EACH BATHROOMS W/ SEPARATE 20AMP CIRCUIT.

PROVIDE GFCI OUTLETS AT BATHROOMS, EXTERIOR OUTLETS, AND ANY OUTLET WITHIN 6' OF WET BAR OR SINK.

CLOSET LIGHT FIXTURES TO BE MIN 6" FROM NOSE OF SHELF FOR RECESSED AND FLUORESCENT FIXTURES AND 12" MIN FOR INCANDESCENT FIXTURES WITH SAFETY LENSE.

ALL CEILING JUNCTION BOXES TO BE APPROVED FAN TYPE BOX.

ELECTRICAL DEVICES ABOVE FINISHED FLOOR

SWITCHES AND WALL			
OUTLETS OVER COUNTERS	46"	TO C.L.	
REMAINING SWITCHES	46"	TO C.L.	
WALL OUTLETS	12"	TO C.L.	
BATH VANITY BRACKET OUTLET			
(1" ABOVE TOP OF MIRROR)	1,2	80"	TO C.L.
WATER SOFTNER AND SUMP OUTLETS	46"	TO C.L.	
TELEPHONE OUTLETS	12"	TO C.L.	
TELEVISION OUTLETS	12"	TO C.L.	
EXTERIOR GFI'S	12"	TO C.L.	
CARAGE GFI'S			
(ABOVE GARAGE FLOOR)	46"	TO C.L.	
BASEMENT WALL OUTLETS	46"	TO C.L.	
FRONT DOOR COACH LIGHT	72"	TO C.L.	
GARAGE DOOR COACH LIGHT			
(ABOVE GARAGE FLOOR)	84"	TO C.L.	
DINING AND BREAKFAST			
FIXTURE HEIGHT	64"	TO BOTTOM	OF FIXTURE

FOYER AND STAIRWAY			
FIXTURE HEIGHT	96"	TO BOTTOM	OF FIXTURE

THEMOSTAT	54"	TO C.L.
DOOR BELL CHIMES	84"	TO C.L.
DOOR BELL BUTTOM	LEVEL WITH DOOR HANDLE	
KITCHEN HOOD FAN "WHIP"	66"	TO C.L.
KITCHEN WALL HUNG		
MICROWAVE RECEPTACLE	76"	TO C.L.
KITCHEN DISHWASHER "WHIP"	UNDER SINK	
KITCHEN RANGE	24"	TO C.L.
KITCHEN REFRIGERATOR	46"	TO C.L.
WASHER/DRYER OUTLET	36"	TO C.L.

C.L. = CENTER LINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH VANITY TO BE RAISED 4"

ELECTRICAL PLAN NOTES

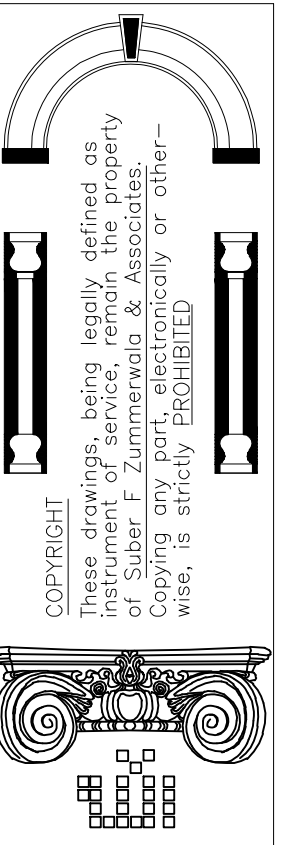
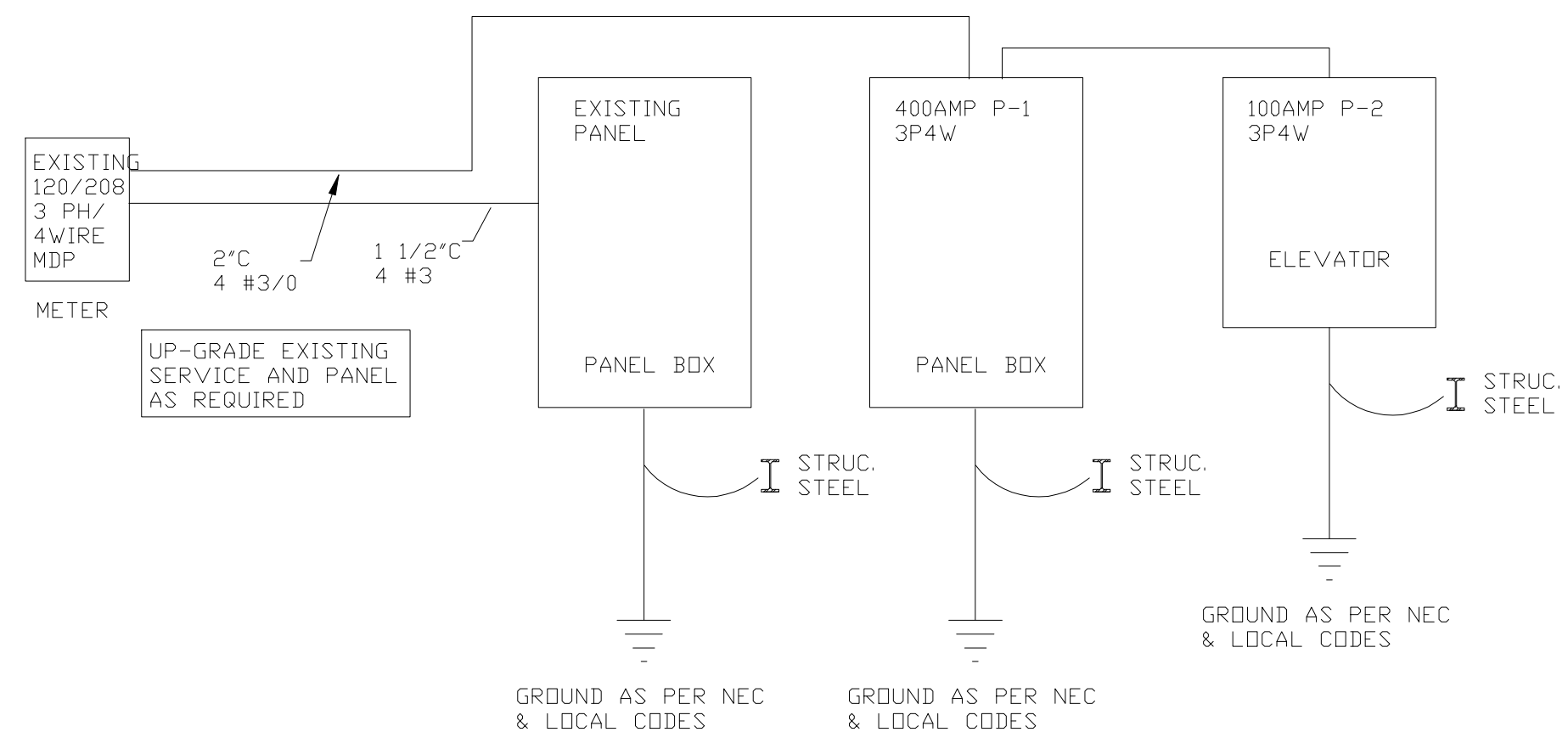
ALL ELECTRICAL WORK TO COMPLY WITH NEC CODES WITH LOCAL AMENDMENTS

ELECTRICAL KEY

- ⊕ DUPLEX OUTLET
- ⊕ DUPLEX OUTLET ABOVE COUNTER
- ⊕wp WEATHERPROOF DUPLEX OUTLET
- ⊕GFI GROUND FAULT INTERRUPTER DUPLEX OUTLET
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ SPECIAL PURPOSE OUTLET
- ⊕ DIRECT WIRE "WHIP"
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕3 THREE-WAY SWITCH
- ⊕4 FOUR-WAY SWITCH
- ⊕R RHEOSTAT SWITCH
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- ⊕ RECESSED INCANDESCENT LIGHT FIXTURE
- ⊕PC LIGHT FIXTURE WITH PULL CHAIN
- ⊕ TRACK LIGHT
- ⊕ UC UNDER CABINET
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/LIGHT COMBINATION
- ⊕ ELECTRIC DOOR OPERATOR (OPT)
- ⊕ CHIMES (OPT)
- ⊕ PUSHBUTTON SWITCH (OPT)
- ⊕ SMOKE DETECTOR
- ⊕ HEAT DETECTOR
- ⊕ PHONE TELEPHONE (OPT)
- ⊕ TV TELEVISION (OPT)
- ⊕ THERMOSTAT
- ⊕ E ELECTRIC METER
- ⊕ G GAS METER
- ⊕ DISCONNECT SWITCH
- ⊕ ELECTRIC PANEL
- ⊕ SPEAKER (OPT)
- ⊕ ROUGH-IN FOR OPT CEILING FAN
- ⊕ CEILING MOUNTED INCANDESCENT LIGHT FIXTURE W/ ROUGH-IN FOR OPT CEILING FAN
- RJB REINFORCED JUNCTION BOX
- ⊕ WATER METER READER
- ⊕ WATER METER
- ⊕ PH
- ⊕ COMP
- ⊕ CBL

PANEL-1
MAIN MCB 400/208V 3P-4W 32 POLE

ITEM	BRKR	CRCT	A	B	C	CRCT	BRKR	ITEM
LIGHTS	20/1	1	●			2	20/1	LIGHTS
LIGHTS	20/1	3		●		4	20/1	LIGHTS
LIGHTS	20/1	5			●	6	20/1	LIGHTS
WASHROOM	20/1	7	●			8	20/1	LIGHTS
WASHROOM	20/1	9		●		10	20/1	OUTLETS
LIGHTS	20/2	11			●	12	20/1	OUTLETS
LIGHTS	20/2	13	●			14	20/1	OUTLETS
LIGHTS	20/2	15		●		16	20/1	OUTLETS
OUTLETS	20/2	17			●	18	20/1	WASHROOM
OUTLETS	20/2	19	●			20	20/1	OUTLETS
	20/2	21		●		22	20/1	FURNACE
FURNACE	20/2	23			●	24	50/2	SUB PNL ELEVATOR
LIGHTS	20/2	25	●			26		
ACCU	30/2	27		●		28	30/2	ACCU
		29			●	30		
OUTLETS	20/2	31	●			32	20/1	SUMP
OUTLETS	20/2	33		●		34	20/1	SUMP
ELEVATOR-GFI	20/2	35			●	36	20/1	LIGHTS
LIGHTS	20/2	37	●			38	20/1	LIGHTS
LIGHTS	20/2	39		●		40	20/1	LIGHTS
SPARE	20/2	41			●	42	20/1	SPARE

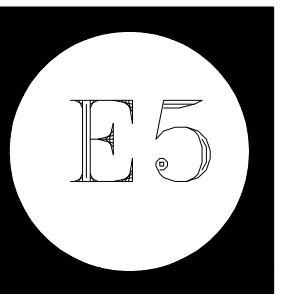


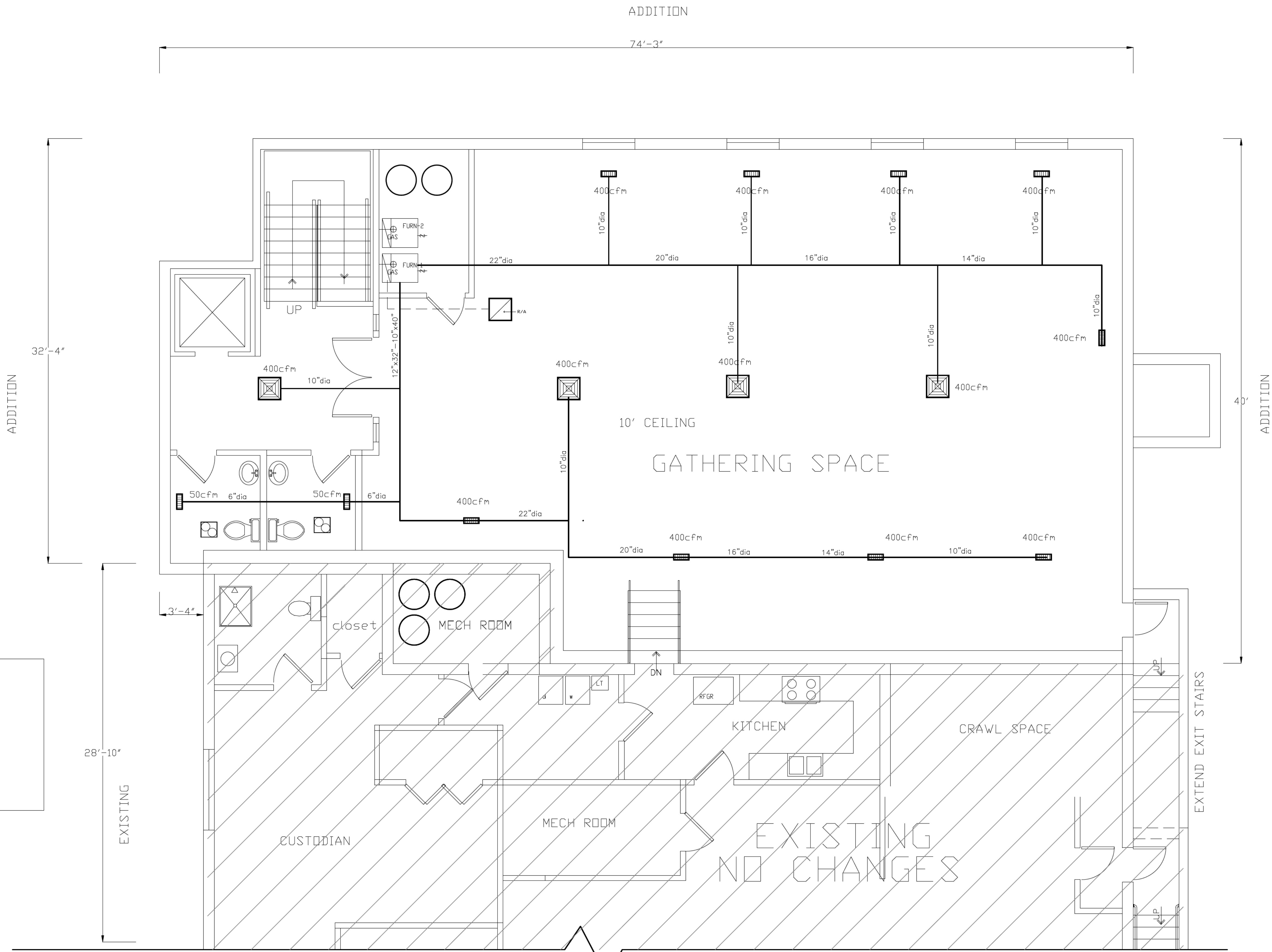
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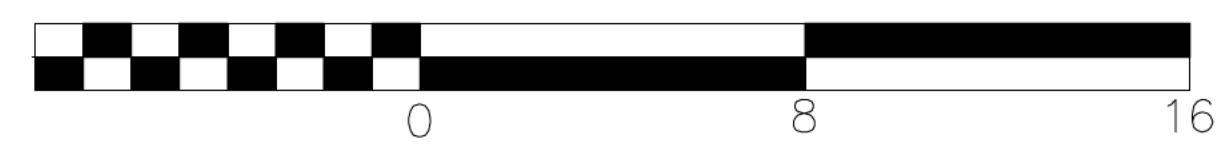
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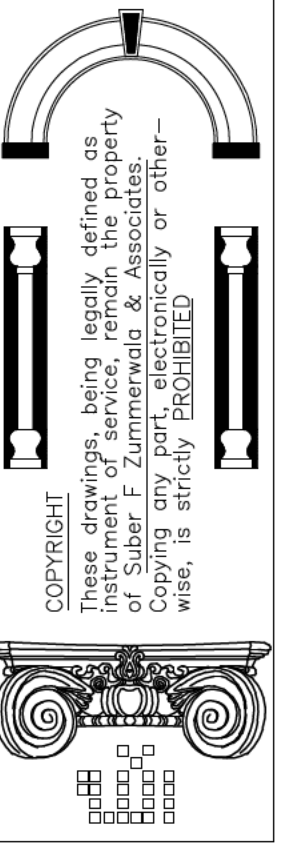
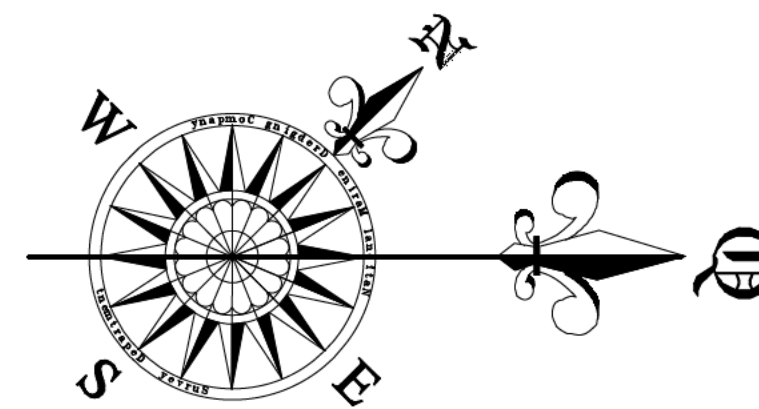


DIFFUSER W/ VOLUME DAMPER
 RETURN AIR GRILL
 EXHAUST GRILL

BASEMENT-HVAC PLAN



SCALE: 1/4"=1'



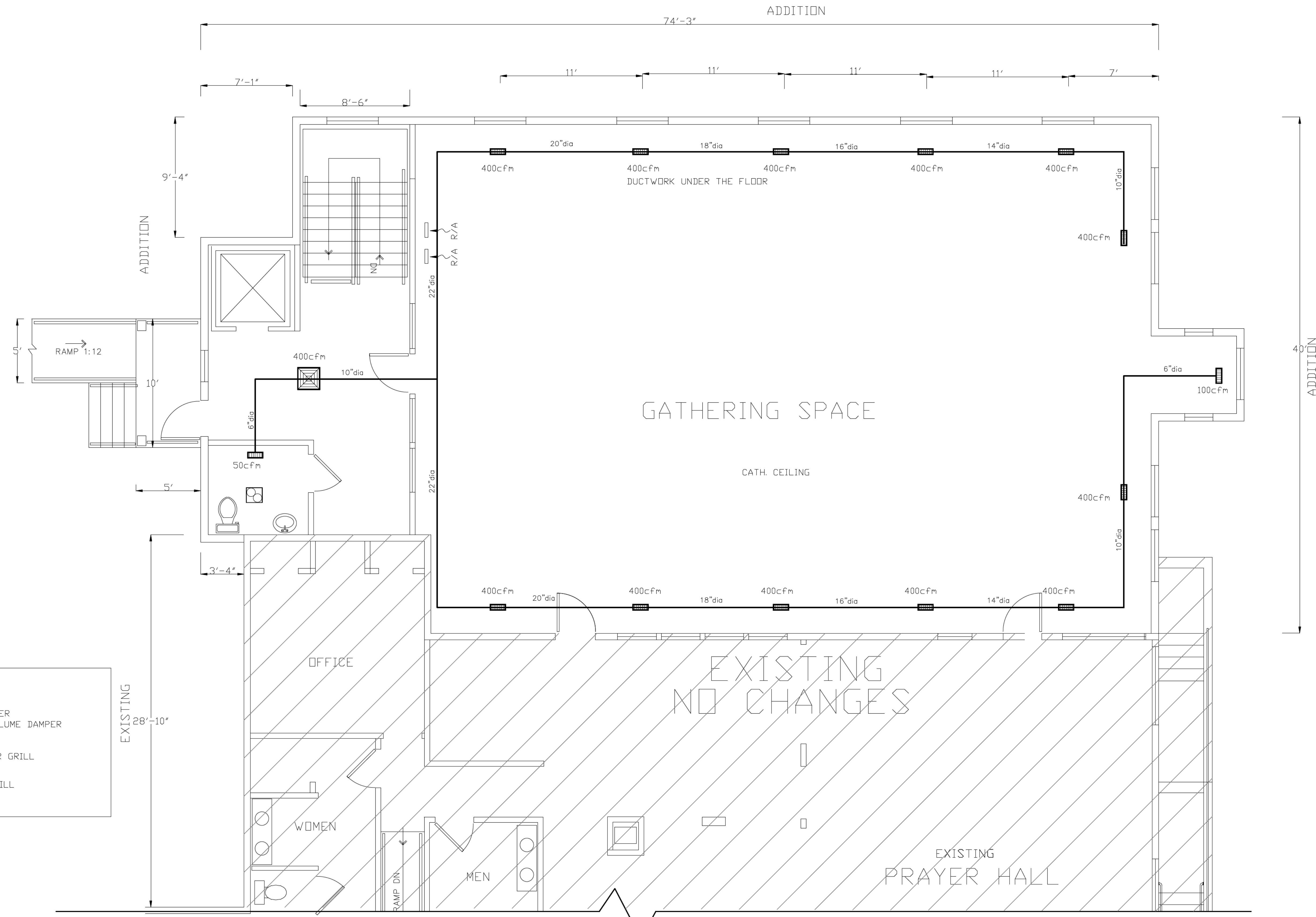
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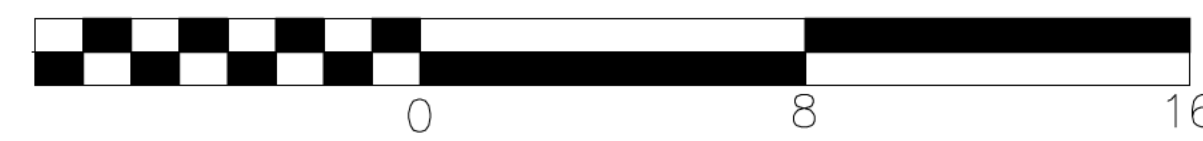
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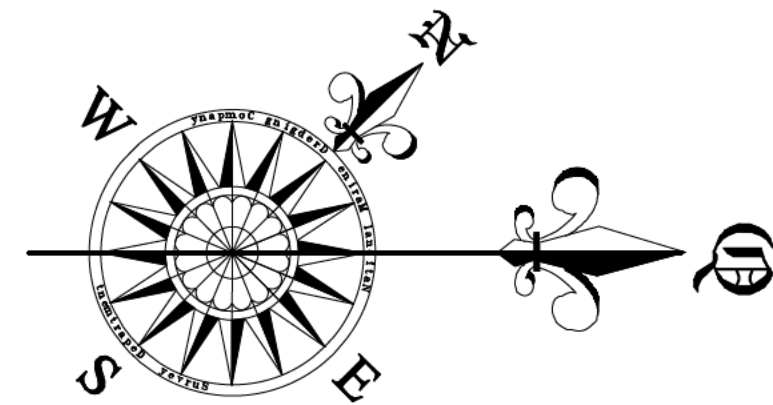


DIFFUSER W/ VOLUME DAMPER
 R/A RETURN AIR GRILL
 EXHAUST GRILL

FIRST FLOOR-HVAC PLAN



SCALE: 1/4"=1'



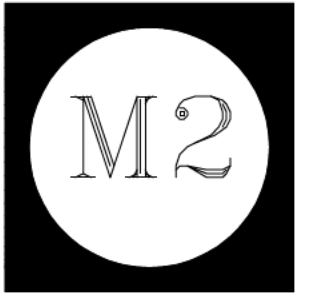
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DUCT SIZES CHART		
AIR QUANTITY	ROUND DUCT	RECTANGLE DUCT
100cfm	6"dia	8"x6"
125-175cfm	8"dia	8"x6"
200cfm	8"dia	8"x8"
225-250cfm	9"dia	8"x8"
300-350cfm	10"dia	8"x10"
400cfm	10"dia	8"x12"-10"x10"
450-500cfm	12"dia	8"x14"-10"x10"
600cfm	12"dia	8"x14"-10"x12"
700cfm	12"dia	8"x16"-10"x14"
800cfm	14"dia	8"x20"-10"x16"
900cfm	14"dia	8"x22"-10"x18"
1000cfm	16"dia	8"x24"-10"x20"
1200cfm	16"dia	8"x28"-10"x22"
1400cfm	18"dia	12"x22"-10"x26"
1600cfm	18"dia	12"x24"-10"x28"
1800cfm	20"dia	12"x26"-10"x32"
2000cfm	20"dia	12"x28"-10"x34"
2500cfm	22"dia	12"x32"-10"x40"
3000cfm	24"dia	12"x38"-14"x32"
3500cfm	26"dia	12"x42"-14"x38"
4000cfm	28"dia	14"x44"-16"x38"

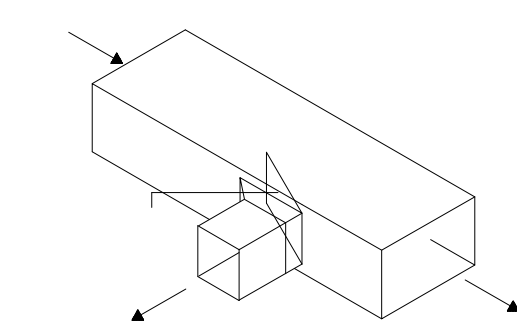
DUCTS SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING 10 FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE HVAC SYSTEM SHALL BE PROVIDED WITH AUTOMATIC CONTROLS, WHICH SETBACK THE HEAT TO 55 DEGREES AND THE COOLING TO 85 DEGREES; HAVE A SEVEN DAY CLOCK, HAVE A TWO HOUR OCCUPANT OVERRIDE AND A TEN HOUR BATTERY BACK-UP.

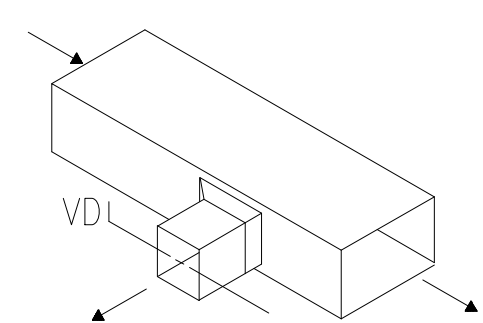
LONGITUDINAL SEAMS OF RIGID DUCTS AND TRAVERSE SEAMS ON ALL DUCTS SHALL BE SEALED WITH TAPES OR MASTICS IN ACCORDANCE WITH UL 181A OR UL 181B.

BOTH MECHANICAL FASTENERS AND SEALANTS SHALL BE USED TO CONNECT DUCTWORK TO THE AIR DISTRIBUTION EQUIPMENT.

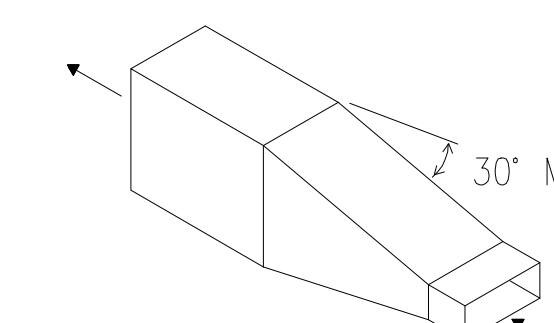
PRIOR TO FINAL INSPECTION, AN AIR BALANCE REPORT MUST BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. THE REPORT MUST INCLUDE OUTSIDE AIR BROUGHT INTO THE BUILDING AS WELL AS THE EXHAUST AIR REMOVED FROM THE BUILDING.



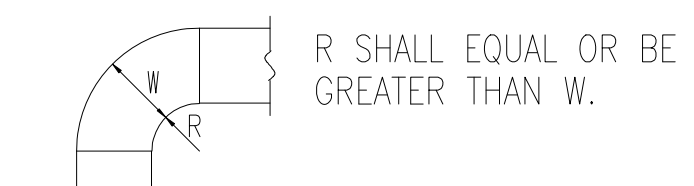
RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



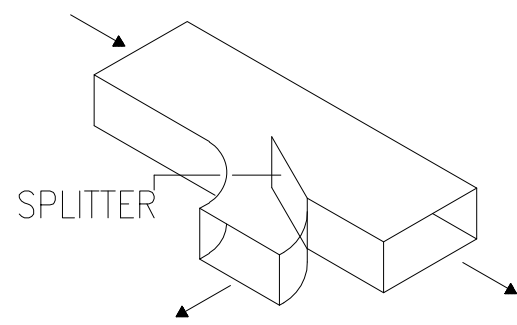
RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



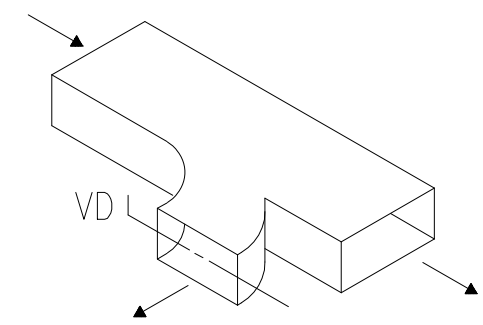
TRANSITION PIECE



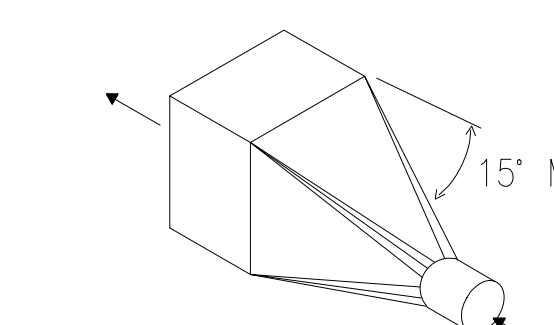
STANDARD RADIUS ELBOW



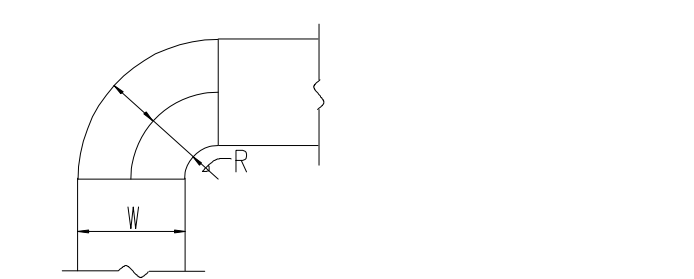
RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



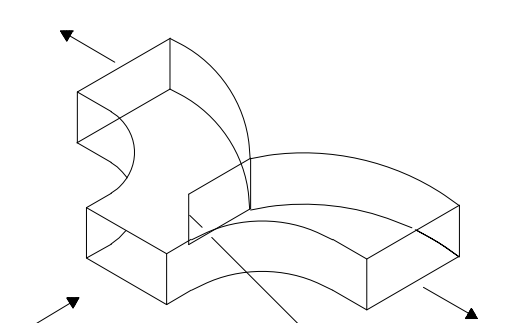
RECTANGULAR DUCT SUPPLY BRANCH TAKE-OFF



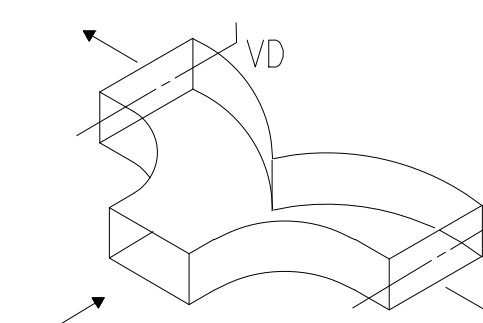
ROUND TO RECTANGULAR



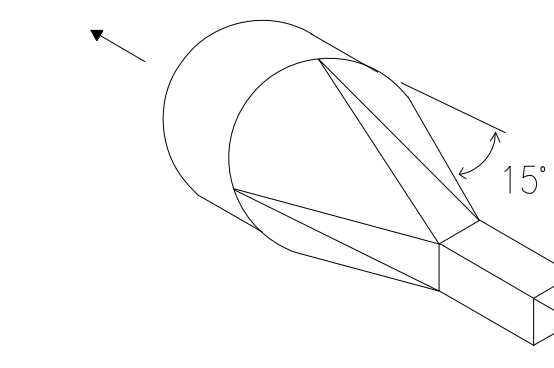
SHORT RADIUS ELBOW WITH ONE VANE(S)



RECTANGULAR SUPPLY TEE



RECTANGULAR SUPPLY TEE



RECTANGULAR TO ROUND

NOTE:

- IF R IS LESS THAN W, THEN FULL ARC TURNING VANE(S) SHALL BE PROVIDED, SEE SCHEDULE BELOW.
- INSIDE BEND MAY BE SQUARE FOR W > 12", NO SQUARE HEELS PERMITTED.

VANE SCHEDULE	
WIDTH	NO. OF VANES
≤ 12"	1
12"-24"	2
24"-36"	3
36"-60"	4
60"-84"	5
> 84"	6

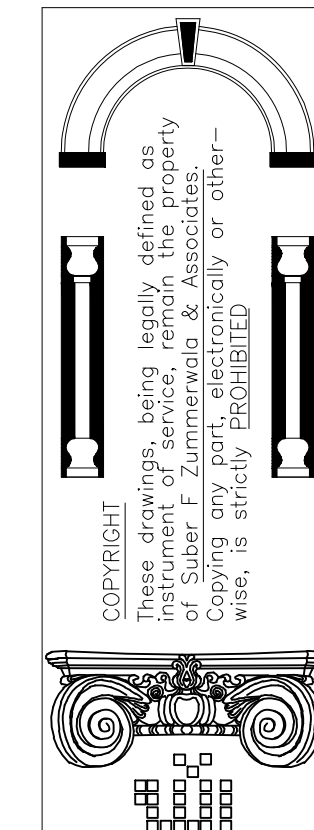
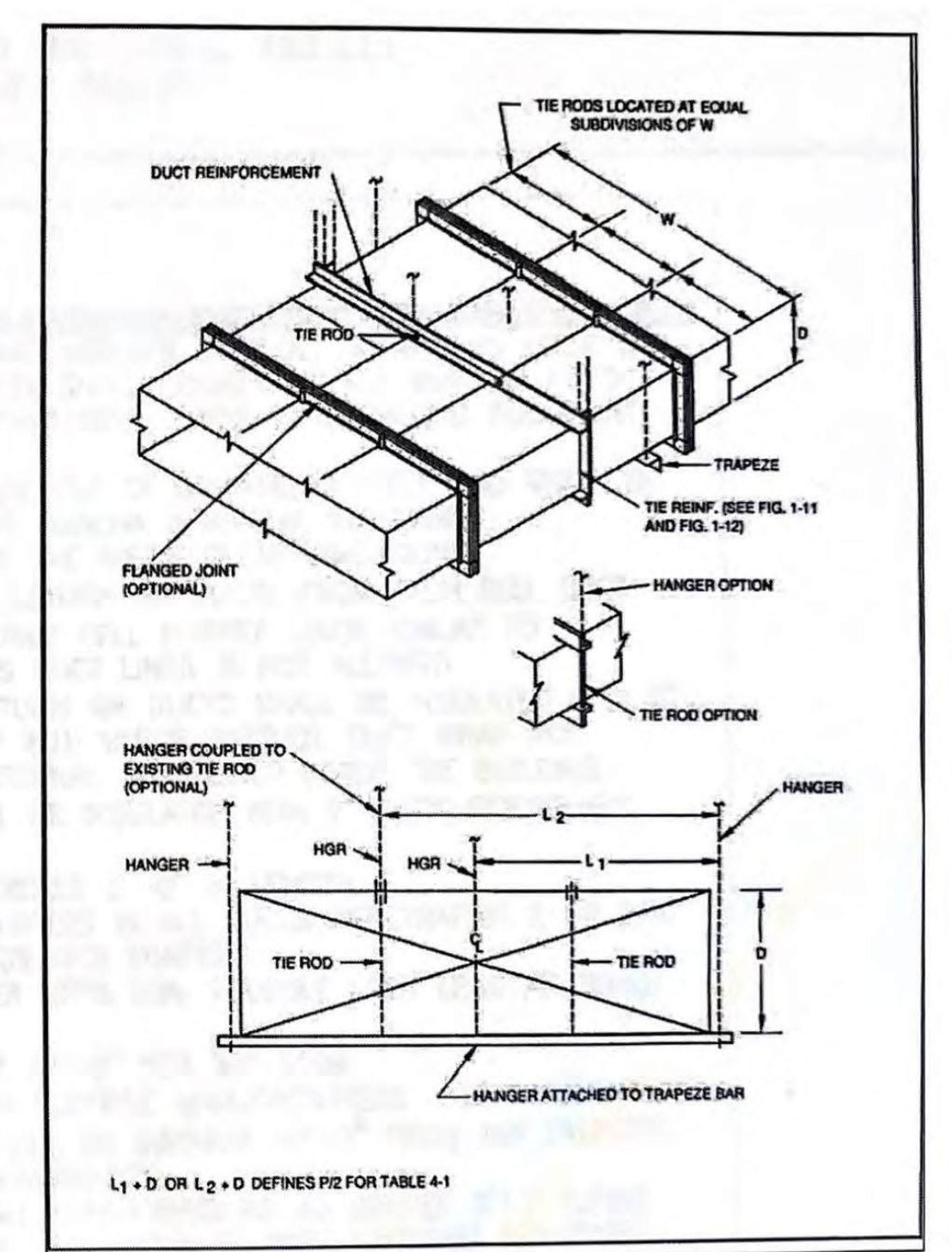
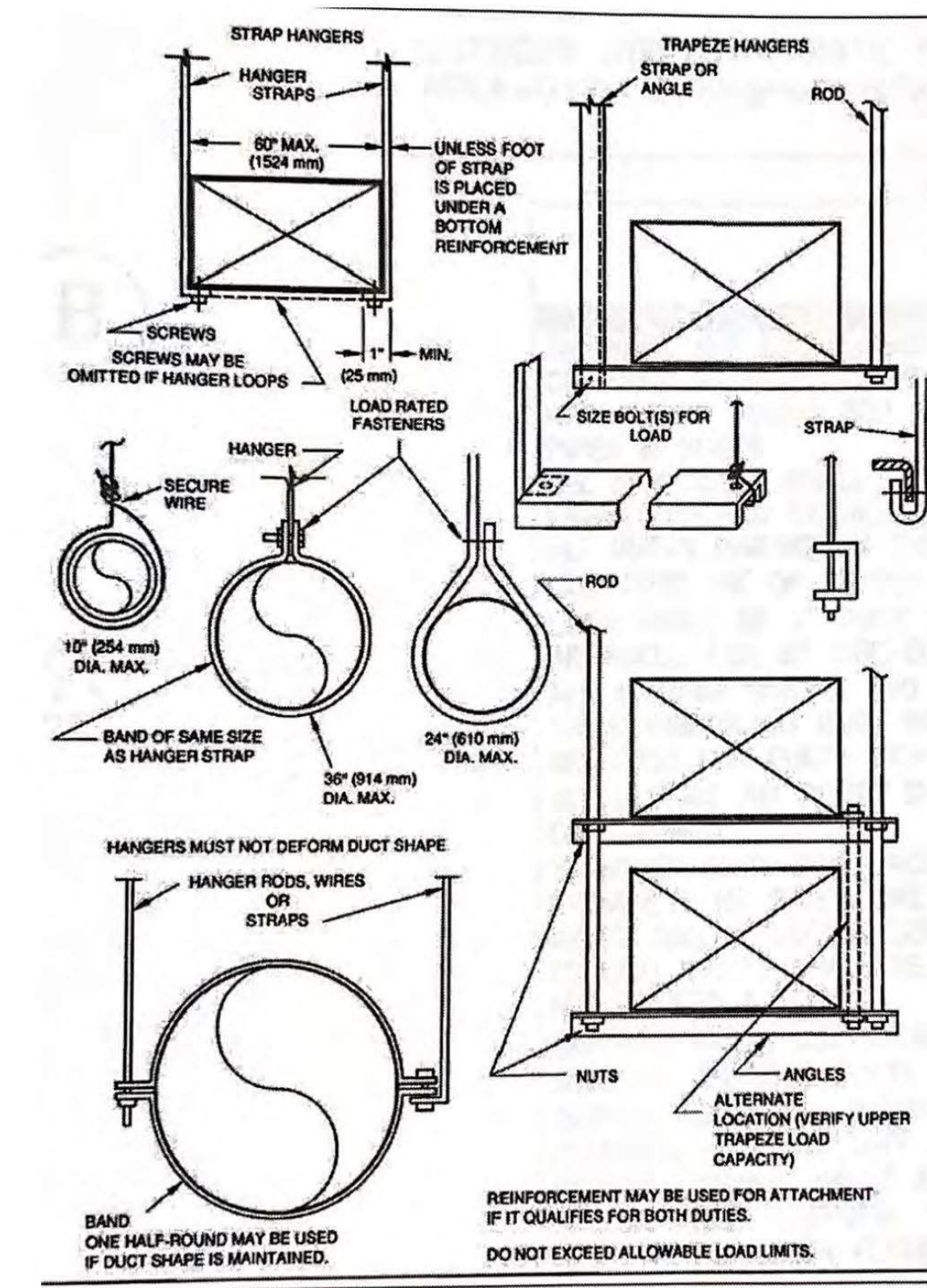
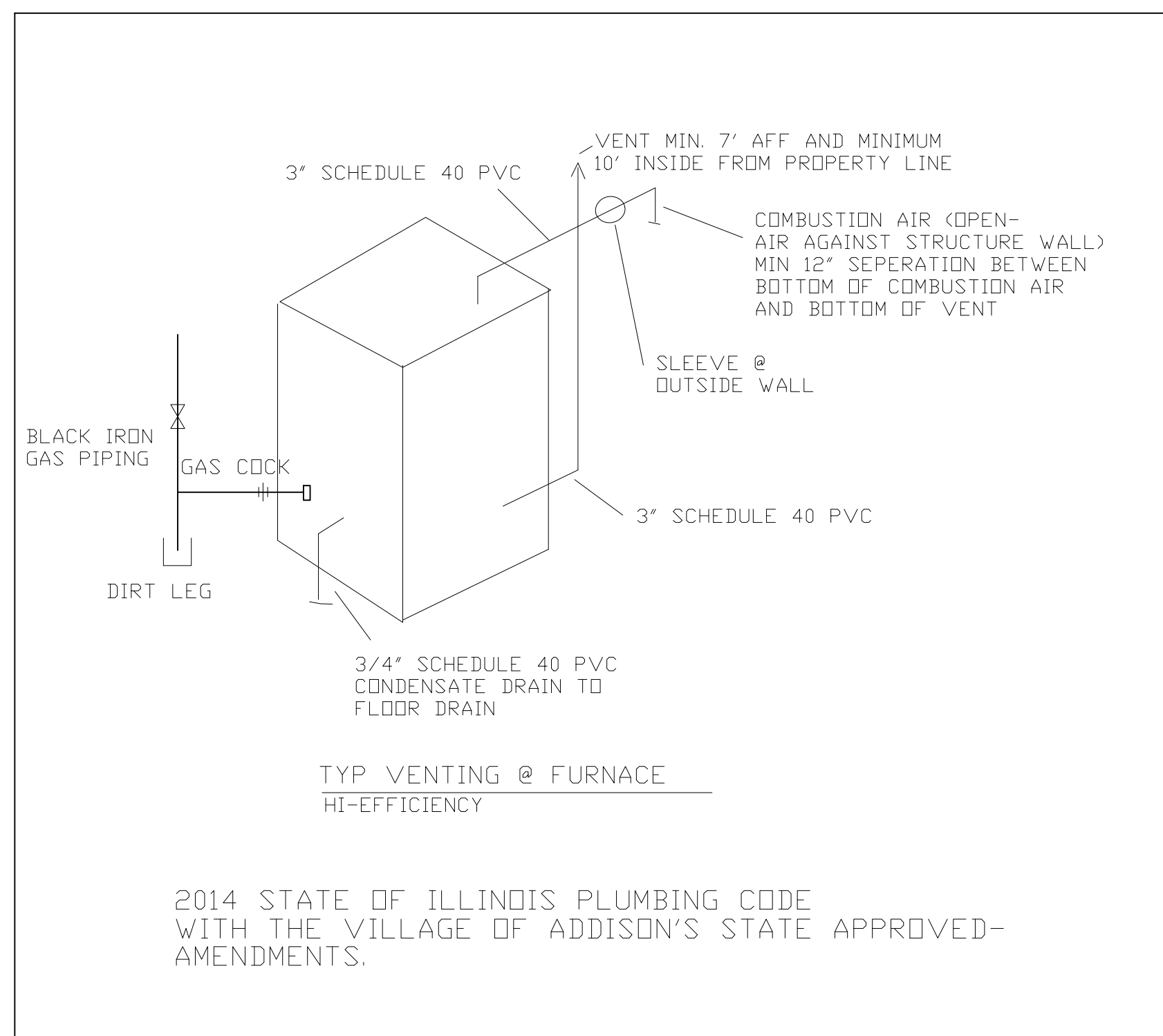
NOTES:

- PROVIDE STANDARD RADIUS ELBOWS WHEN POSSIBLE. SHORT RADIUS WHERE REQUIRED.
- ALL SHORT RADIUS ELBOWS SHALL HAVE VANES. VANES SHALL BE CONSTRUCTED, SUPPORTED & FASTENED AS RECOMMENDED BY SMACNA.
- NO SQUARE OR RECTANGULAR HEEL ELBOWS SHALL BE ALLOWED.

TYPICAL DUCT DETAILS

NOT TO SCALE

FURNACE ROOM:
 5/8" FIRECODE DRYWALL ON ALL WALLS AND CEILING, TAPED AND SANDED.
 3/4" T & G PLYWOOD FLOOR W/ METAL PAN UNDER UNITS.
 CONDENSATE LINE TO F.D. INSULATED B LABEL DOOR W/ AUTO CLOSER AND SWITCHED LIGHT.
 INSULATE ALL PIPES AND DUCTS. SIDE VENTED HI-EFFICIENCY FURNACE.
 COMBUSTION AIR AS REQUIRED PROVIDE NON-CORROSIVE SAFE PAN WITH DRAIN

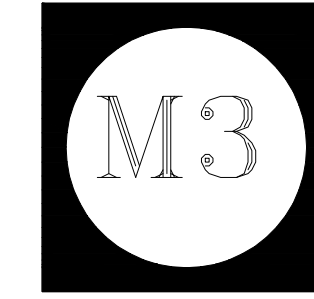


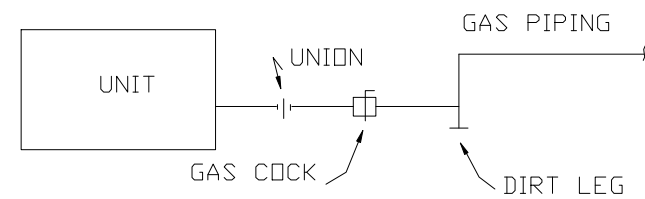
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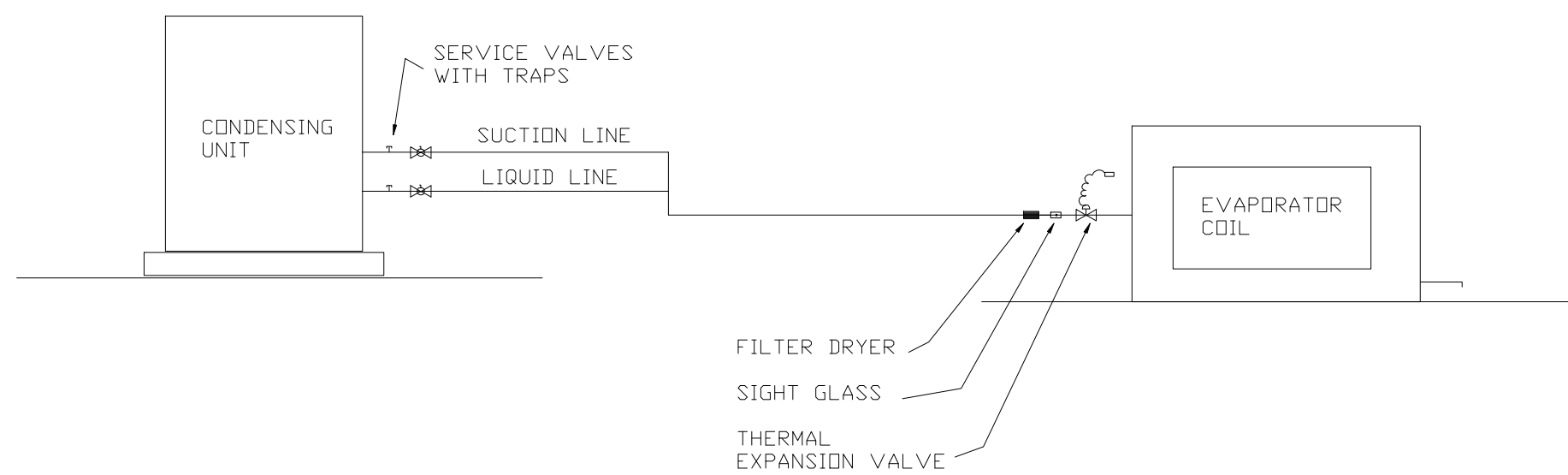
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TYP GAS PIPING @ ACCU AND GAS FIRED FURNACE

TYP GAS PIPING



TYP REFR PIPING

AIR COOLED CONDENSING UNIT (ACCU)

TAG #	MANUF'R	MODEL	COOLING CAP.			ELECTRICAL		REMARKS	
			TOTAL MBH	SENS. MBH	AMB. DEG F	REFR TYPE	MCA		VOLT/ PHASE
ACCU-1	CARRIER	38BRC060	60.0	44.0	95F	R-22	27	208/3	SIZED W/ COOLING COIL CC5-AXA-060-024
ACCU-2	CARRIER	38BRC060	60.0	44.0	95F	R-22	27	208/3	SIZED W/ COOLING COIL CC5-AXA-060-024

REFRIGERATION SCHEDULE

TAG AND UNIT#	TYPE	NO. COMP	COOLING CAPACITY	CAP/COMP	HP/COMP	REFRIGERANT TYPE	REFR CHARGE LBS	REMOTE	LOCATION	AIRCOOLED	WATERCOOLED	SPECIAL
ACCU-2	SELF CONTAINED	2	100 TON	25/COMP	25/COMP	R-22	20 LBS	REMOTE	GRADE	AIRCOOLED		

GRILLES/DIFFUSER SCHEDULE

TAG	SERVICE	TYPE	NECK SIZE	DAMPER	MATERIAL & FINISH	MAKE & MODEL	REMARKS
A	SUPPLY	CEILING DIFFUSER	SEE PLAN	OBD	STEEL, #25 WHITE	TITUS, TMS	24"x24" LAY-IN
B	RETURN	LOUVERED FACE	SEE PLAN	OBD	STEEL, #25 WHITE	TITUS, 33RL	1/2" SPACING, 38" DEFLECTION

EXHAUST FAN SCHEDULE

TAG #	MANUF'R	SIZE CFM	S.P.	HP.	VOLT	PHASE	SDNES	FAN DATA			UNIT WT LBS	REMARKS
								FAN TYPE	RPM	DRIVE		
EF#-1	BRDAN/EO	75 CFM	.125	1/4	120	1	4.0	CENTRIFUGAL	-	DIRECT	50	1,2,3

- EXTRUDED ALUMINUM LOUVERS, BACKDRAFT DAMPERS, & INSECT SCREEN.
- INTERLOCKED WITH TOILET LIGHT SWITCH, HOODED WALLCAP, BACKDRAFT DAMPERS AND INSECT SCREEN.
- VARIABLE SPEED OPERATING SWITCH.

GAS WARM AIR FURNACE SCHEDULE

TAG AND UNIT#	MANUFACT'R	HP	CFM	WT LBS	S.P.	GAS INPUT MBH	GAS OUTPUT MBH	REMARKS/NOTES
FURN-1	CARRIER	3/4	3000	210	0.5	140MBH	120MBH	6" FLUE
FURN-2	CARRIER	3/4	3000	210	0.5	140MBH	120MBH	6" FLUE

- CONDENSATE DRAIN PIPING FROM EVAPORATIVE COILS SHALL BE SCHEDULE 40 PVC AND SHALL TERMINATE TO FLOOR DRAIN.
- EVAPORATIVE COIL SHALL BE PROVIDED WITH MANUFACTURER'S STANDARD CABINET.
- EACH FURNACE SHALL BE PROVIDED WITH RETURN AIR CABINET.
- PROVIDE MIN. 4" CONCRETE EQUIPMENT BASE.
- PROVIDE ELECTRICAL CONNECTION AND POWER AS PER MANUFACTURER.
- FURNISH AUTO FEED HUMIDIFIER W/ EACH FURNACE-GENERAL 800 HUMIDIFIER AND WHITE RODGERS THERMOSTATE FOR EACH FURNACE

ALL OUTSIDE AIR INTAKES SHALL BE INSTALLED MINIMUM 15' FROM ANY EXHAUST AIR, VENT OR FLUE.

NOISE LEVEL AT THE PROPERTY LINE SHALL NOT EXCEED 55 DECIBELS (55db).

INSTALL A SAFETY VALVE DIRECTLY INTO HIGH PRESSURE SIDE OF THE REFRIGERATION SYSTEM, UPSTREAM OF ANY LIQUID LINE OR STOP VALVE AND SET @ 450 PSI AS PER CHIGAGO MECHANICAL CODES. RELOCATE EXPANSION VALVE OUT OF AIR STREAM.

INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.

REMOVE ALL EXPANSION VALVES, DEVICES, & CONNECTIONS FROM AIR STREAM.

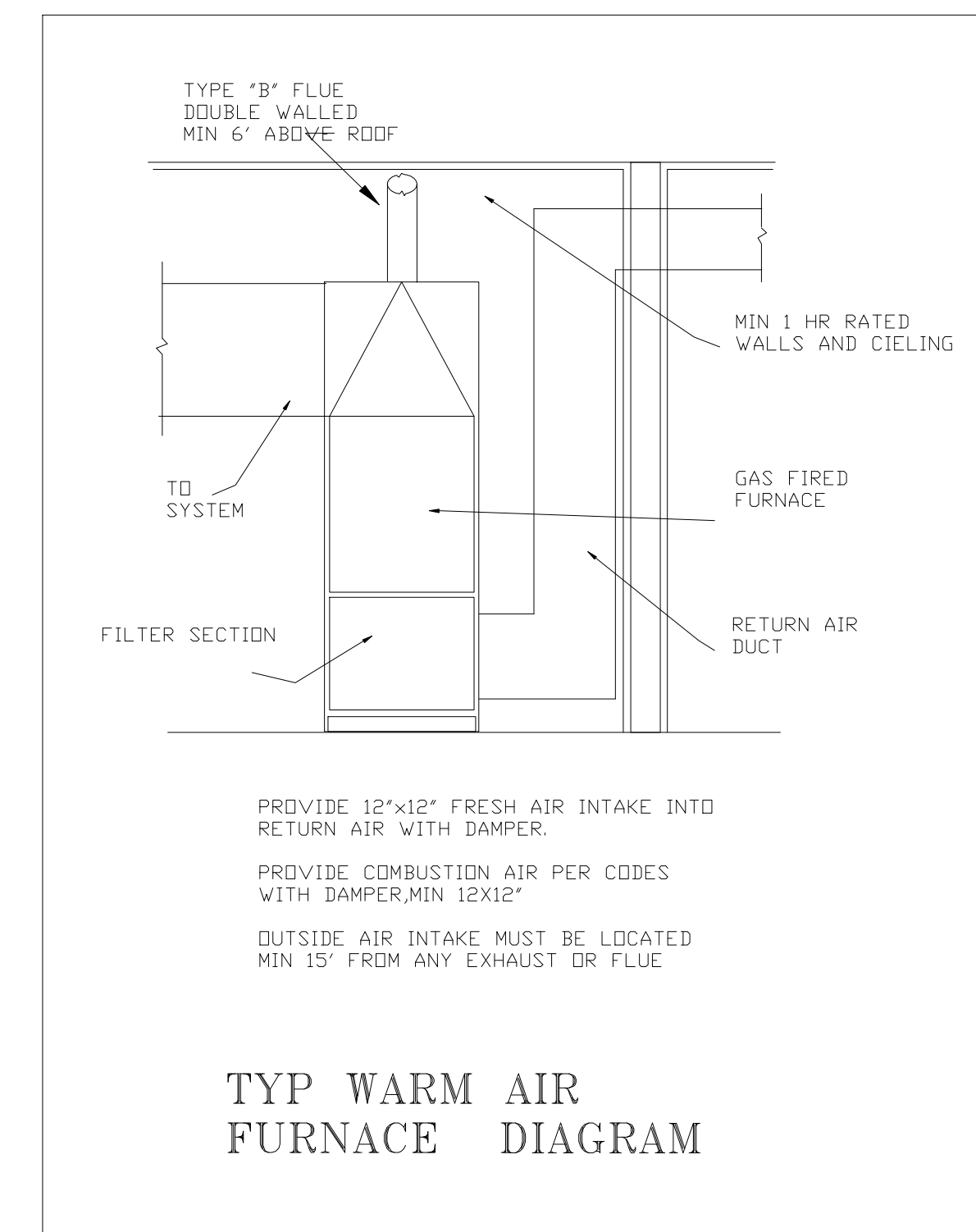
REFRIGERATION PIPING TO BE COPPER TYPE "K".

ALL CONNECTIONS AND DEVICES TO BE BRAZED.

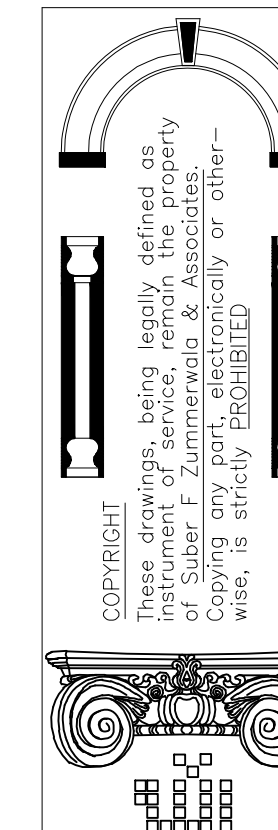
PIPING SHOWN FOR REFERENCE ONLY. PROVIDE ALL TRAPS ETC AS REQUIRED PER MANUFACTURERS RECOMMENDATIONS. SIZES AS PER MANUFUR.

VENTILATION SCHEDULE

ROOM NAME	FLOOR AREA SQ.FT	NATURAL VENTILATION				MECHANICAL VENTILATION		HEAT LOSS BTU/HR	REMARKS
		ORDINANCE REQUIREMENT		PLAN REQUIREMENT		ORDINANCE REQUIREMENT	PLAN REQUIREMENT		
		LIGHT (SQ. FT)	VENT(SQ. FT)	LIGHT (SQ. FT)	VENT(SQ. FT)	SUPPLY (CFM)	SUPPLY (CFM)		
GATHERING SPACE	2000	160.0	80.0	96.0	96.0	5200	5200	80000	FURN-1
WASHRM	50	-	-	-	-	50	50	2000	FURN-1
WASHRM	50	-	-	-	-	50	50	2000	FURN-1
UTILITY RM	50	-	-	-	-	-	-	2000	FURN-1
LOBBY	155	-	-	44.0	24.0	200	400	6200	FURN-1
GATHERING SPACE	2300	184.0	92.0	220.0	180.0	5200	4900	92000	FURN-2
LOBBY	230	-	-	-	-	200	400	9200	FURN-2
WASHRM	50	-	-	-	-	50	50	2000	FURN-2



TYP WARM AIR FURNACE DIAGRAM



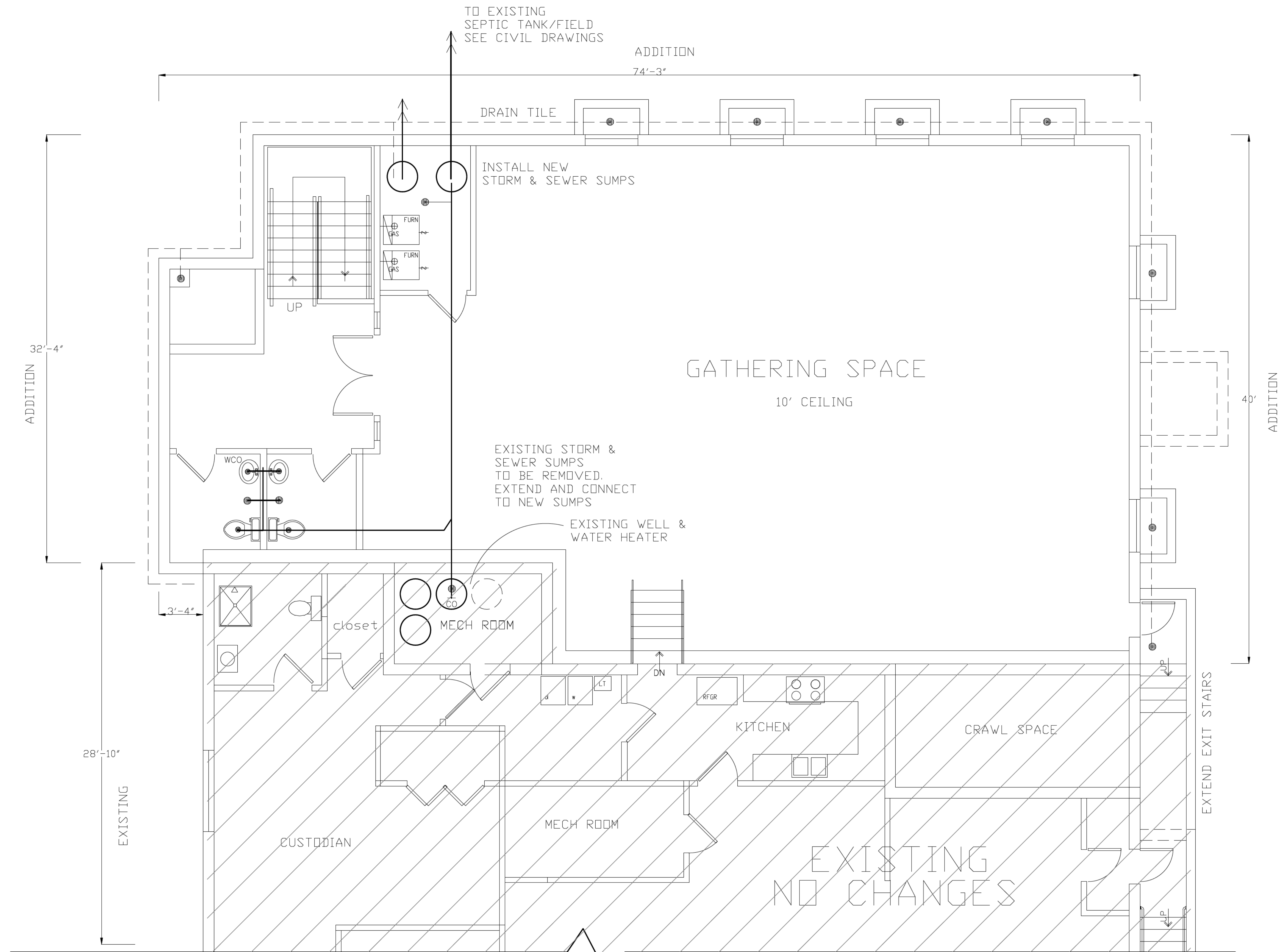
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Roseville, IL 60172
PH: 847 951-0472
DESIGN FIRM LIC. NO. 184-004407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
600 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

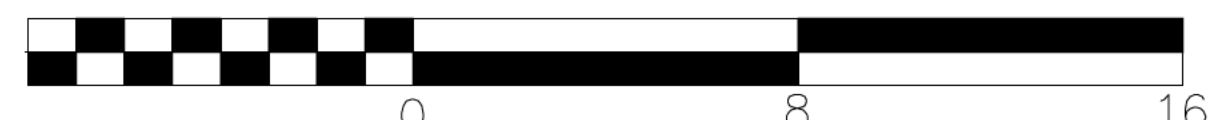
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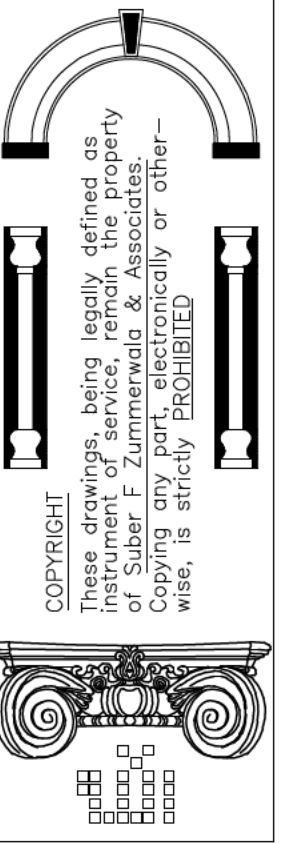
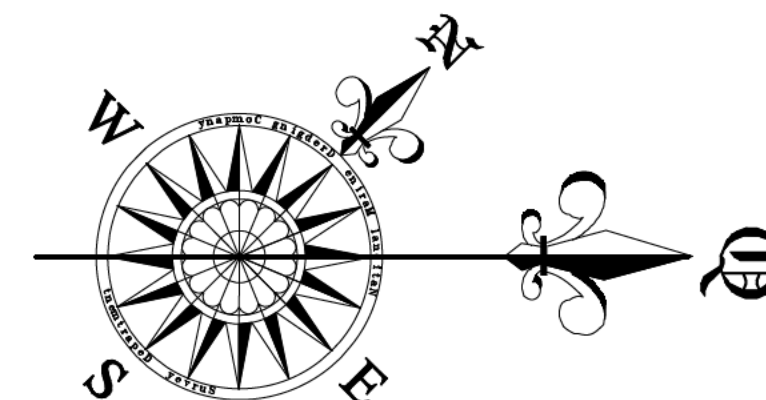




BASEMENT PLAN



SCALE: 1/4"=1'

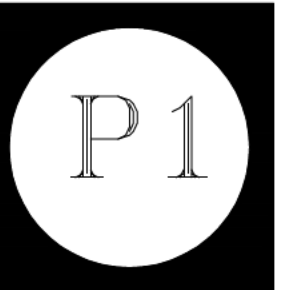


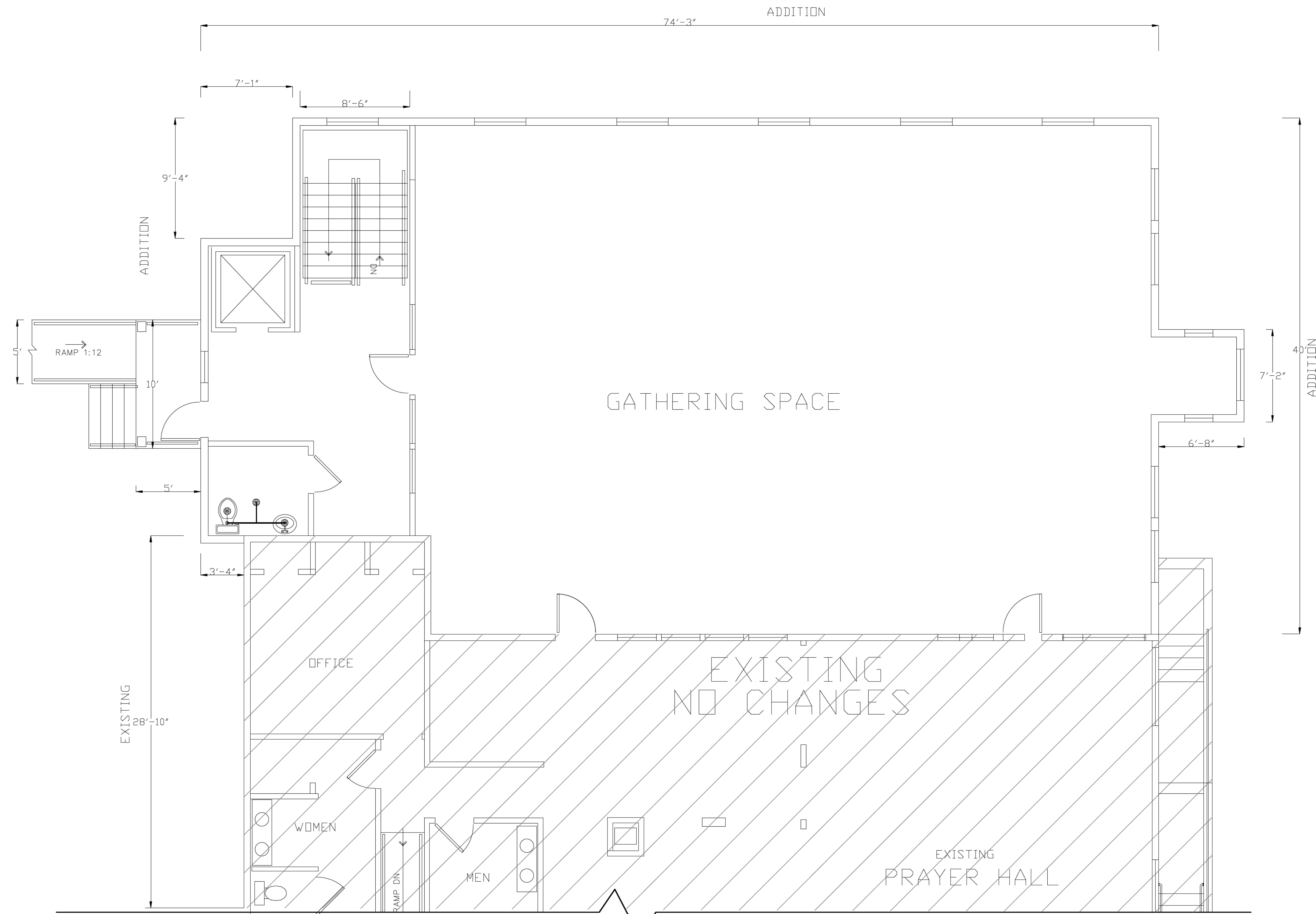
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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

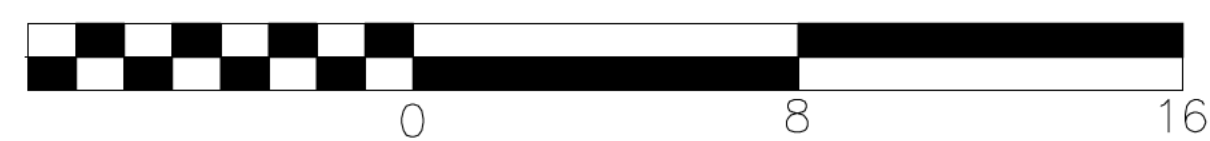
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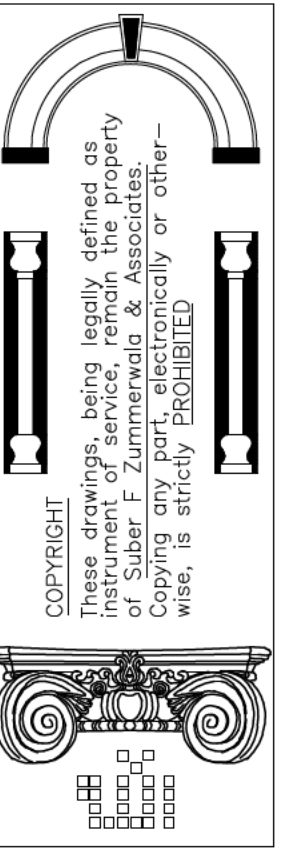
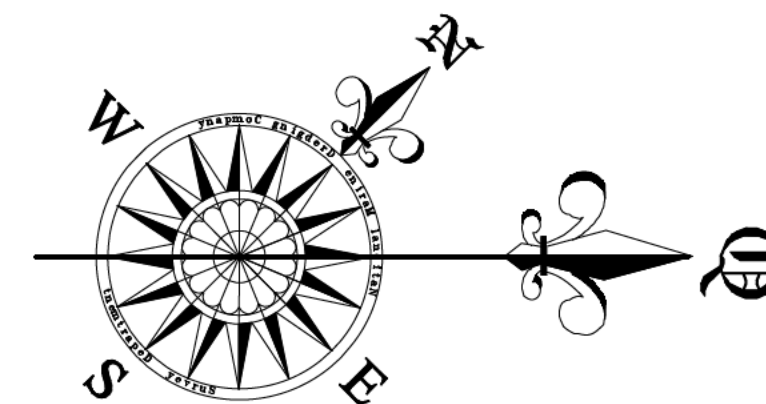




FIRST FLOOR PLAN



SCALE: 1/4"=1'

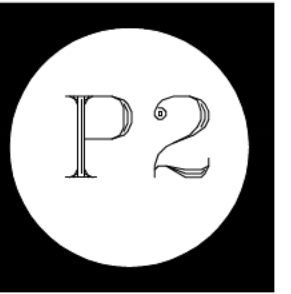


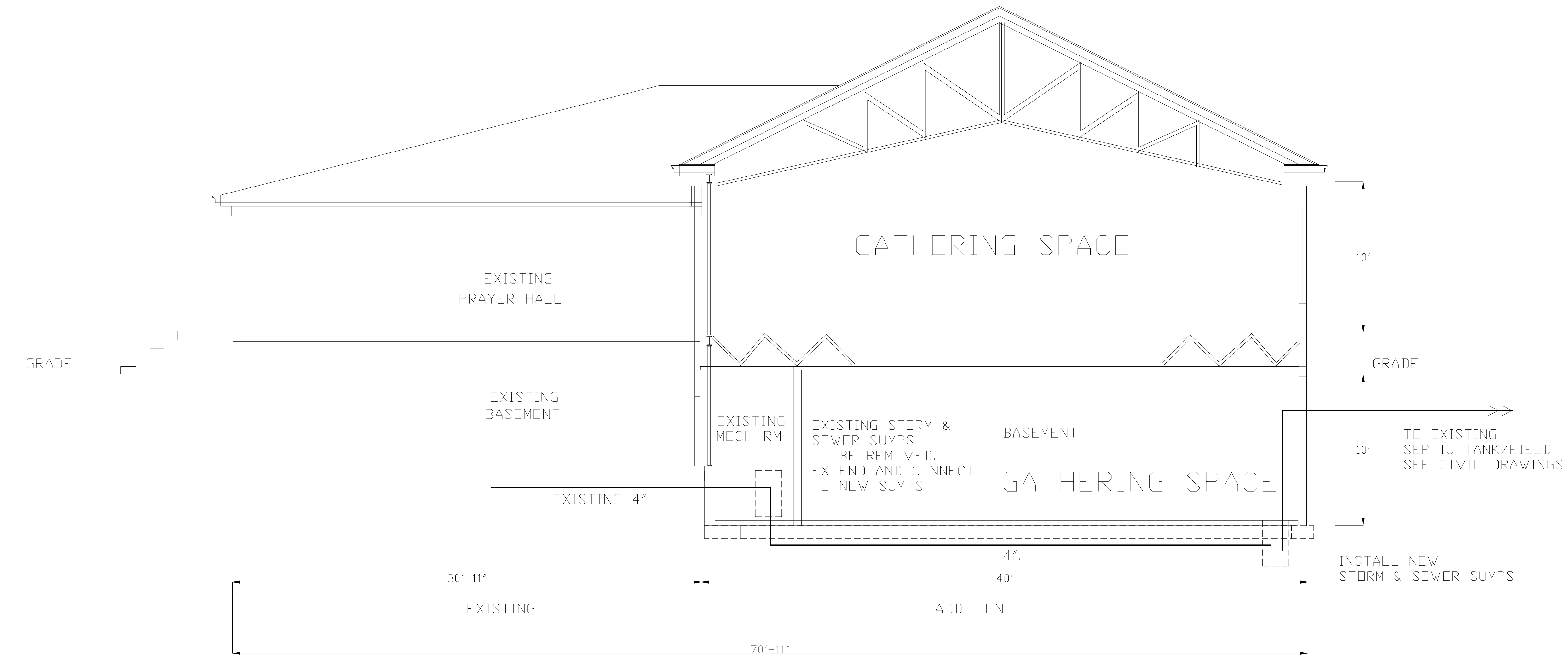
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 160 HAWTHORNE ROAD
 BARRINGTON HILLS, ILLINOIS

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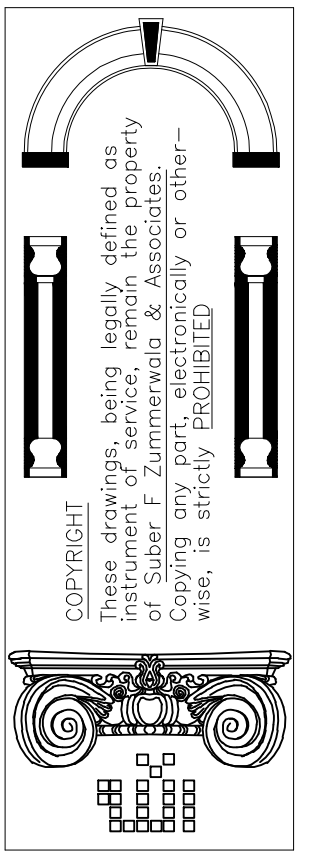
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SECTIONAL VIEW

SCALE: 1/4"=1'

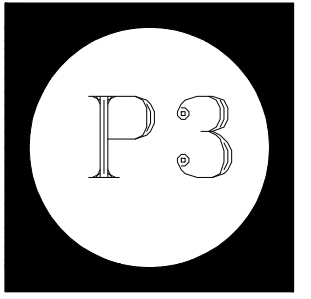


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PLUMBING NOTES

1. ALL PLUMBING WORK TO MEET 2014 ILLINOIS PLUMBING CODE
2. ALL SUPPLY PIPING TO BE COPPER TYPE 'K' FOR BELOW GROUND AND TYPE 'L' FOR ABOVE GROUND.
3. PROVIDE SHUT OFF VALVES TO ALL FIXTURES.
4. PROVIDE 12" AIR CHAMBERS TO ALL FIXTURES AND 24" TO ALL RISERS.
5. ALL BELOW GRADE WASTE PIPING TO BE 4" SCHEDULE 40 PVC.
6. ALL FLOOR DRAINS TO BE VENTED.
7. WATER SUPPLY AND WASTE PIPES SHALL NOT BE INSTALLED IN EXTERIOR WALLS. KEEP SUPPLY LINES ON WARM SIDE OF EXTERIOR WALLS.
8. THESE DIAGRAMS ARE SCHEMATIC ONLY AND DO NOT SHOW ALL RUNS AND BENDS.

ALL PLUMBING PIPES TO BE PROTECTED FROM FREEZING IN ALL UN-CONDITIONED SPACES

ALL NEW PLUMBING FIXTURES AND FAUCETS SHALL BE "WATER SENSE" COMPLIANT. CENTERLINE OF TOILETS SHALL BE A MINIMUM OF 15 INCHES FROM ANY WALL, FIXTURE OR CABINET.

NEW WATER PIPING SHALL BE INSULATED ACCORDING TO THE 2015 ILLINOIS ENERGY CONSERVATION CODE.

ALL PLUMBING WORK TO BE PERFORMED BY A LICENSED PLUMBER.

ALL PLUMBING WORK SHALL COMPLY WITH THE STATE OF ILLINOIS PLUMBING CODE REQUIREMENTS.

REMOVE ALL EXISTING NON-USED PLUMBING WASTE AND VENT PIPES.

ALL NEW PLUMBING FIXTURES INSTALLED SHALL BEAR THE "WATERSENSE" LABEL.

PLUMBING PIPING IS NOT PERMITTED IN AN OUTSIDE WALL OR IN ATTIC, EXCEPT VENT PIPING.

OWNER SHALL ADHERE TO THE ILLINOIS PLUMBING LICENSE LAW AND SIGNED DUPAGE COUNTY AFFIDAVIT. FAILURE TO STRICTLY ADHERE TO OR MISREPRESENTED, THE PERMIT WILL IMMEDIATELY RESCINDED.

ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE REGISTERED WITH THE DUPAGE COUNTY PRIOR TO THE START OF THE PROJECT PER DC-0003A-07.

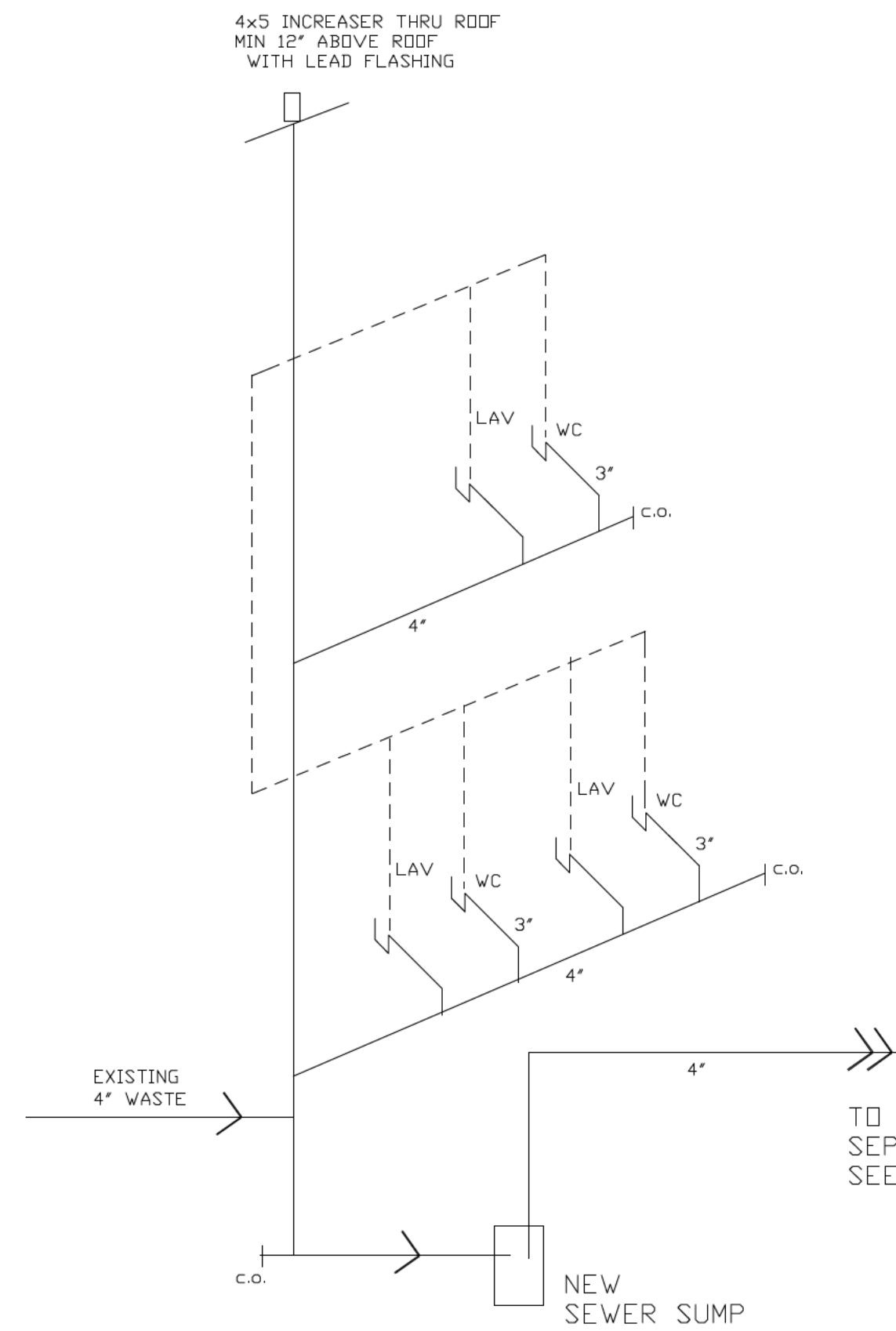
PIPING DIAGRAMS ARE TO BE USED FOR GENERAL REFERENCE ONLY, NOT FOR SIZING SYSTEMS. ALL PIPING SHALL BE SIZED PER DFU (DRAINAGE FIXTURE UNITS) AND WSFU (WATER SUPPLY FIXTURE UNITS) REQUIREMENTS.

VENTS/VENTING TO BE SIZED PER DFU REQUIREMENTS, INCLUDING SANITARY EJECTOR (890.1580e) WITH NO MORE THAN 20% OF MAXIMUM DEVELOPED LENGTH INSTALLED IN THE HORIZONTAL POSITION.

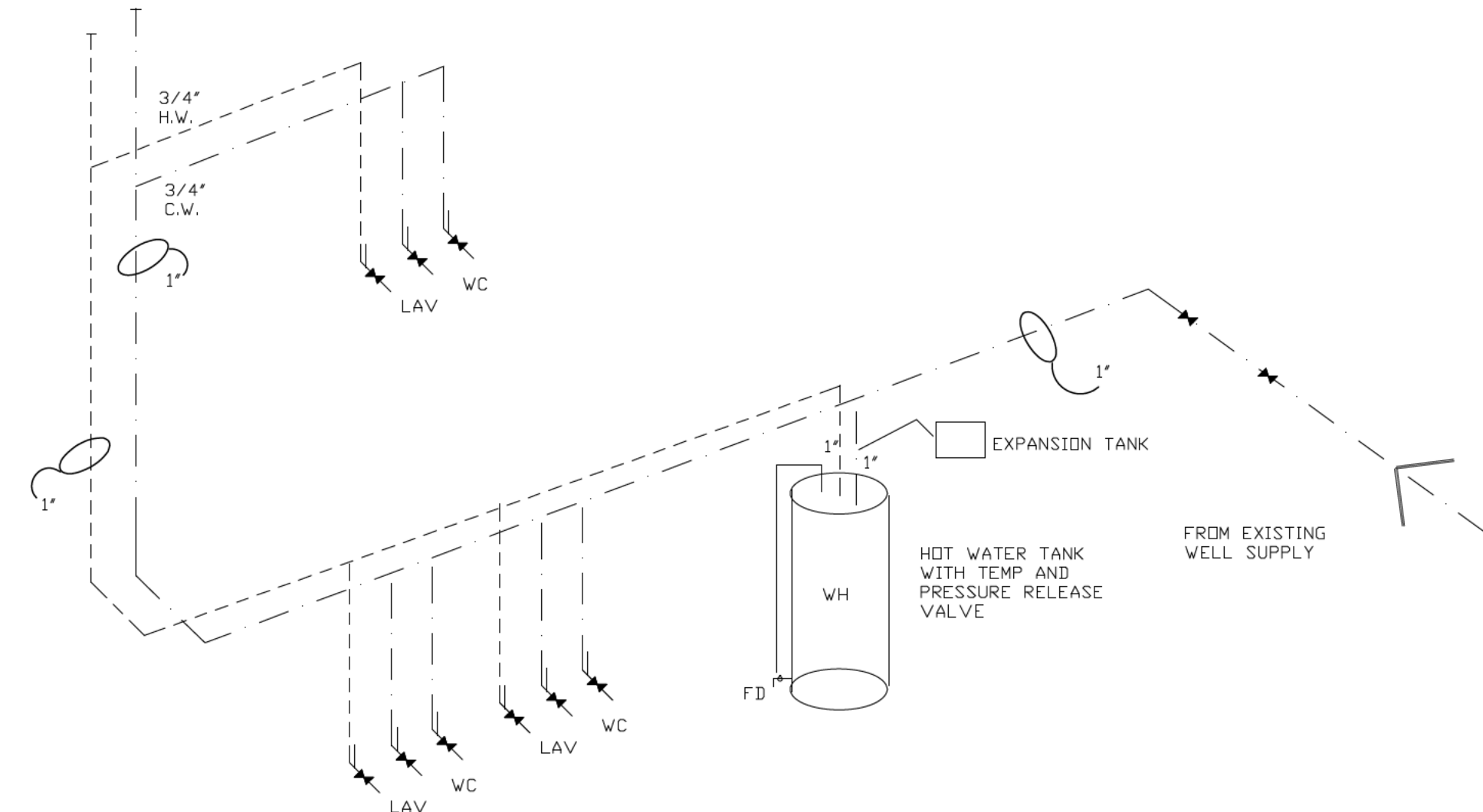
NO WATER PIPING SHALL BE INSTALLED IN ANY EXTERIOR WALL, GARAGE WALL, ATTIC OR OTHER UNCONDITIONAL SPACES OR CHASE UNLESS INSTALLED IN A SEPARATE ISOLATED SECONDARY WALL OR CHASE. INSULATION ALONE SHALL NOT BE USED FOR ISOLATION OF WATER PIPING.

PLUMBING FIXTURES, EQUIPMENT, APPLIANCES, APPURTENANCES AND DEVICES PER 890.210 FOR COMPLIANCE WITH APPLICABLE STANDARDS, LISTINGS AND LABELING BY APPROVED AGENCY ONLY. (890.APPENDIX-A/890., TABLE A)

FLOOR DRAINS (FD), HUB-DRAINS (HD) AND OPEN-SITE DRAINS SHALL BE PROPERLY SIZED TO ACCEPT ALL INDIRECT WASTE PIPING.



SAN RISER DIAG



WATER SUPPLY DIAG

HANDICAP TOILET REQUIREMENTS

MUST MEET ALL STATE ACCESSIBILITY REQUIREMENTS.

INSULATE HOT WATER PIPES UNDER SINK.

ANY OPERABLE ACCESSORIES TO BE MOUNTED NOT HIGHER THAN 48" ABOVE FIN FLOOR AND NO LOWER THAN 15" AFF.

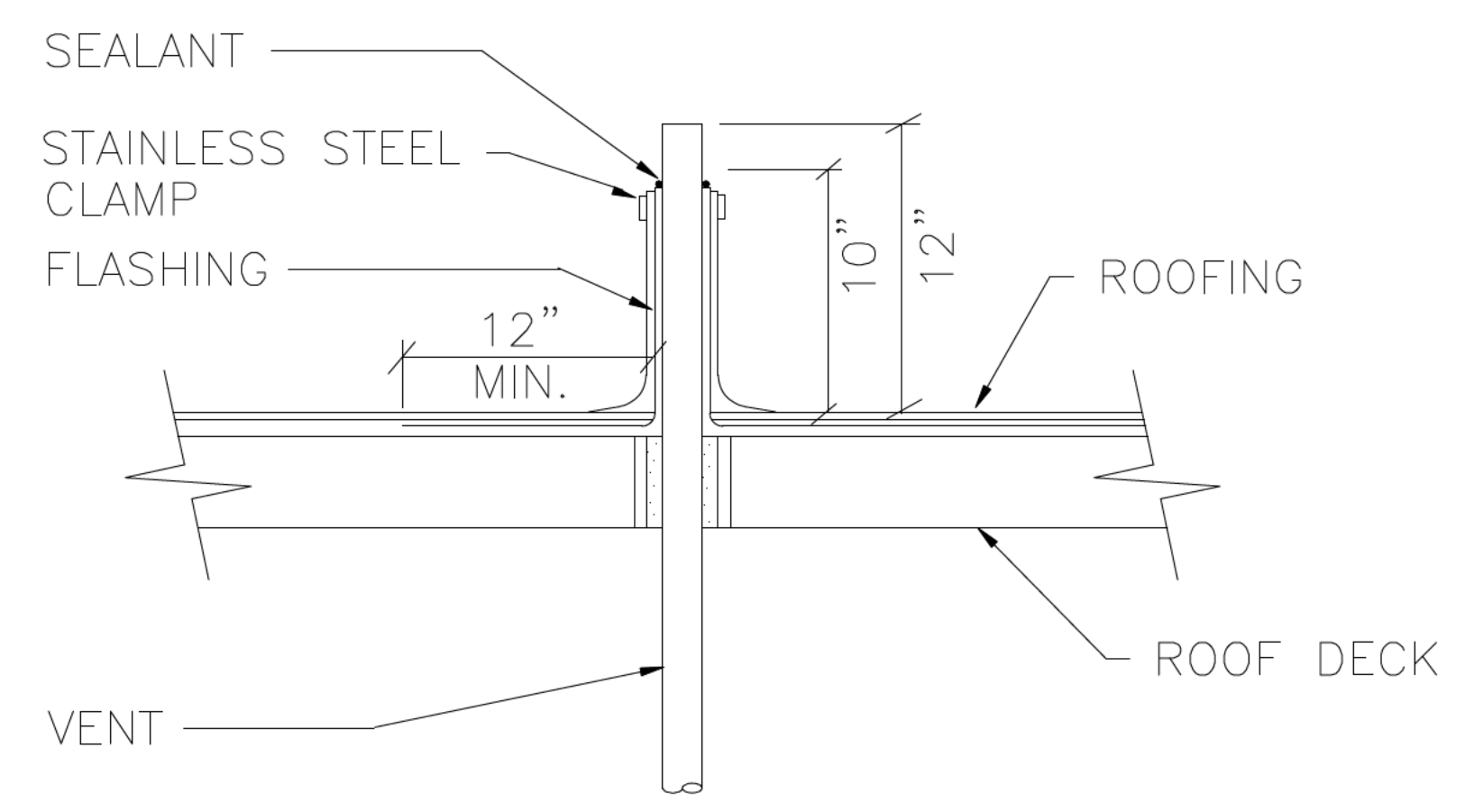
LAVATORY WITH GOOSE NECK AND LEVER TYPE HANDLES. INSTALL NON SCALDING VALVE ON FAUCET WITH WATER TEMPERATURE NOT TO EXCEED 110 DEGREE F.

GRAB BARS TO WITHSTAND MIN 300LBS STATIC WEIGHT FOR A PERIOD OF 5 MINUES, WITH FULL RECOVERY.

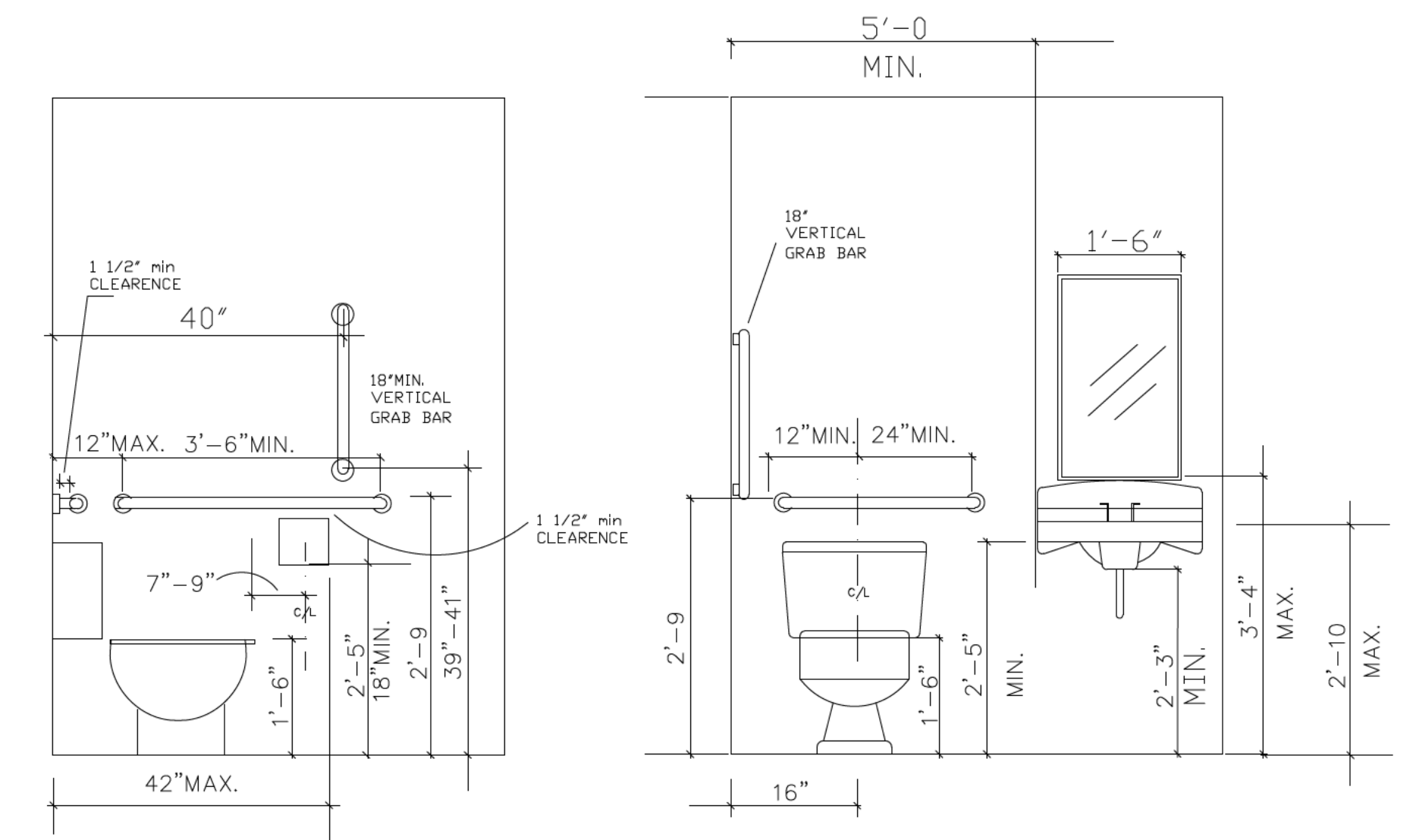
MIN 1 1/2" CLEARANCE FOR HANDRAILS BETWEEN WALL AND RAIL

THRESHOLD AT THE DOOR TO BE MAX 1/2" HIGH. ANY LEVEL CHANGE IN FLOORS TO BE SLOPED AT NO GREATER THAN 1 IN 12.

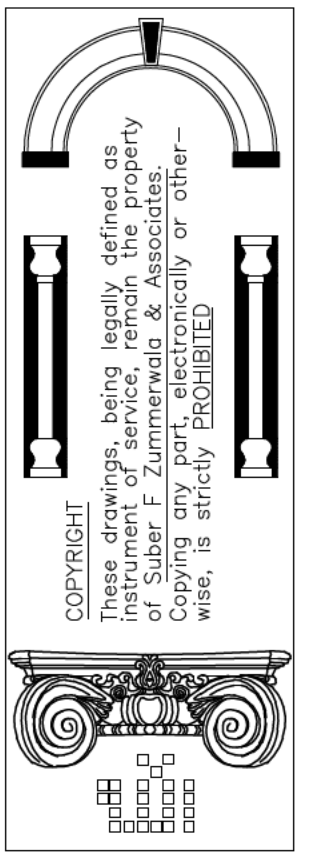
MAXIMUM DEPTH OF ALL ACCESIBLE SINKS AND LAVATORIES TO BE SIX AND ONE-HALF (6 1/2) INCHES.



VENT THRU ROOF DETAIL
NO SCALE



TOILET RM ELEVATIONS

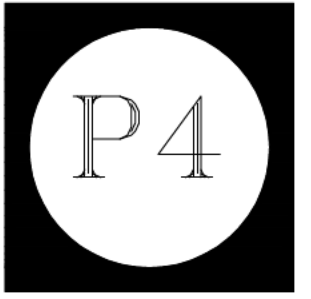


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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
100 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

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EXCAVATION AND CONCRETE

ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE FROM EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIALS. EXCAVATE TO CLAY AND FILL WITH GRAVEL ONLY.

BACKFILL SHALL BE PLACED IN SIX INCHES MAXIMUM LIFTS AND COMPACTED TO A MINIMUM DENSITY OF 95%.

BACKFILL SHALL BE FREE DRAINING, NON EXPANSIVE, PREDDMINANTLY GRANULAR MATERIAL, FREE OF ANY DEBRIS AND ORGANIC MATTERS.

FINAL THREE INCHES OF EXCAVATING SHALL BE DONE BY HAND TOOL OPERATIONS IN ORDER TO INSURE UNDISTURBED BEARING SURFACES.

ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED, SOUND SOIL WITH A MINIMUM SOIL BEARING CAPACITY OF 3000 PSF.

FOOTINGS AND OTHER CONCRETE WORK SHALL NOT BE PLACED ON FROZEN OR MUDDY GROUND.

CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI301), "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI347) AND RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING AND PLACING OF CONCRETE (ACI304).

CONCRETE SHALL ACHIEVE A 28 DAY, FIELD CURED, COMPRESSIVE STRENGTH OF MINIMUM 3000 PSI.

CONCRETE SHALL BE READYMIX CONCRETE TYPE AND SHALL CONFORM TO ASTM 94. CONCRETE SHALL BE THOROLY CONSOLIDATED DURING PLACEMENT USING A MECHANICAL VIBRATOR.

CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50 DEGREE F., AND 70 F. TEMPERATURE OF CONCRETE DURING MIXING OR TRANSPORTING SHALL NEVER BE LOWER THAN 40 DEGREE F OR HIGHER THAN 90 DEG F.

DURING COLD WEATHER, (AMBIANT TEMPERATURE BELOW 40DEGREE F), CONCRETE MUST BE MAINTAINED AT A MINIMUM 50 DEGREE F FOR AT LEAST THREE DAYS. FOLLOW ACI 306 FOR COLD WEATHER CONCRETING.

DURING HOT WEATHER (AMBIANT TEMPERATURE ABOVE 80 DEGREE F), FOLLOW RECOMMENDATIONS FOR HOT WEATHER CONCRETING AS PER ACI 305R TO MINIMIZE TEMPERATURE AND SHRINKAGE CRACKING OF CONCRETE.

CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH RECOMMENDATIONS OF ACI 304.

REINFORCEMENT STEEL SHALL CONFORM TO ASTM A615, GRADE 60.

ALL DETAILING, FABRICATION AND PLACEMENT OF STEEL BARS AND SUPPORTS SHALL BE AS PER ACI MANUAL.

ALL BARS MUST BE LAPPED MINIMUM 24 x DIAMETERS (MIN 18").

WELDED WIRE FABRIC MUST BE LAPPED A MINIMUM 12".

PROVIDE MINIMUM 3" OF CONCRETE COVER WHERE BELOW GRADE.

PROVIDE SLEEVES THRU FOUNDATIONS FOR ALL UTILITIES.

DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTILL CONCRETE HAS REACHED ITS COMPRESSIVE STRENGTH.

ALL CONCRETE FLATWORK EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 psi. THE CONCRETE SHALL BE AIR ENTRAINED. TOTAL AIR CONTENT SHALL BE NOT LESS THAN 5%, OR MORE THAN 7%.

SLEEVES, ANCHORS, OPENINGS ETC

IN GENERAL, DRAWINGS DO NOT SHOW ALL REQUIRED PADS, DRAINS, HOLES, ANCHORS, INSERTS, SLEEVES AND OTHER MINOR ITEMS PASSING THRU OR ATTACHED TO COMPLETE THE WORK OR FRAMING. CONTRACTOR MUST REFER TO ALL ARCHITECTURAL, MECHANICAL, CIVIL, ELECTRICAL AND OTHER DRAWINGS BESIDES HIS OWN TRADES AND CO-ORDINATE SAME FOR COMPLETE INSTALLATION AND REQUIREMENTS.

VERIFY SIZES AND LOCATIONS OF ALL SUCH ATTACHMENTS AND OPENINGS ETC

ADJUST ALL EQUIPMENT PADS AND SUPPORTS TO FIT PROPERLY.

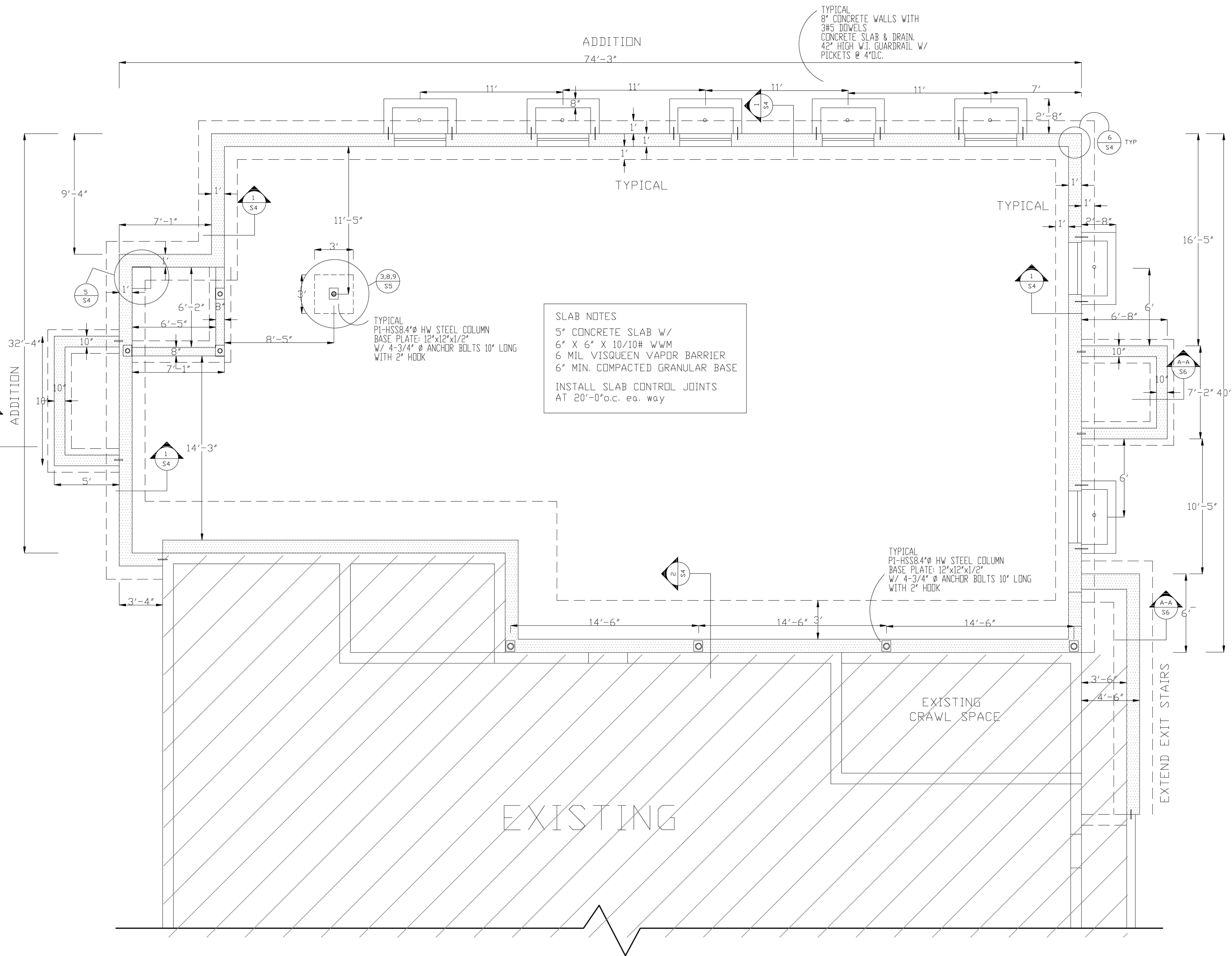
PROVIDE SUBFRAMING WHERE REQUIRED FOR EQUIPMENTS SUPPORTED ON OR SUSPENDED FROM STRUCTURE.

DESIGN LOADS:
LOAD IMPORTANT FACTOR CATAGORY: I
ROOF:
SNOW L.L. = 30 PSF
SNOW EXPOSER FACTOR: EXPOSER B=1.0
SNOW LOAD IMPORTANT FACTOR = 1.0
THERMAL FACTOR = 1.0
SNOW CLASSIFICATION = III

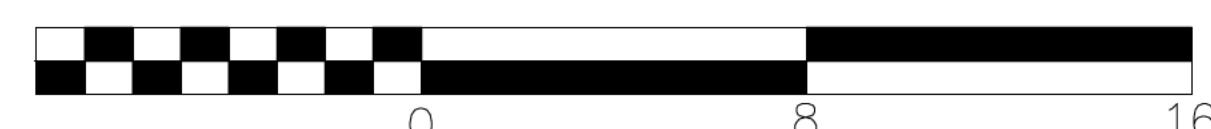
WIND SPEED = 90MPH
WIND LOAD = 20 PSF
WIND EXPOSURE = B
WIND LOAD IMPORTANT FACTOR=1.15
INTERNAL PRESSURE COEFFICIENT = +0.25,-0.25

EARTHQUAKE ZONE = 4
SEISMIC HAZARD EXPOSURE GROUP = II
SEISMIC IMPORTANT FACTOR: 1.0

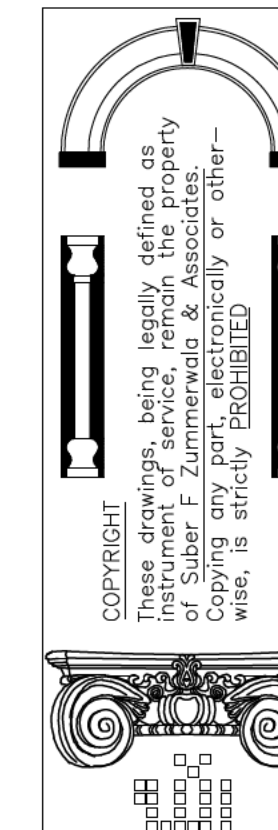
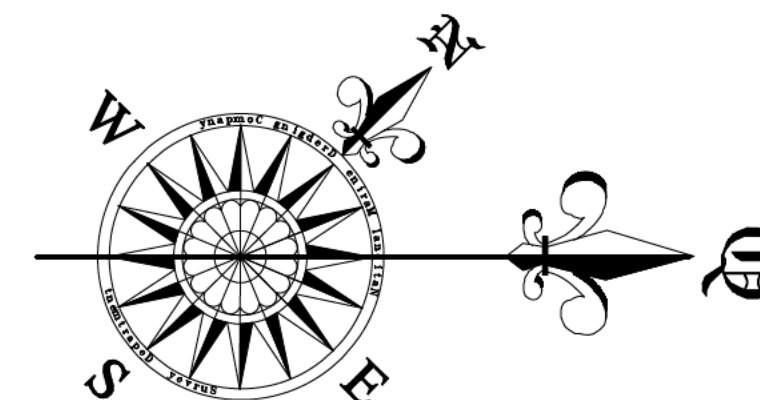
FLOOR L.L. = 100 PSF
STAIRS L.L. = 100 PSF



FOUNDATION PLAN



SCALE: 1/4"=1'



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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

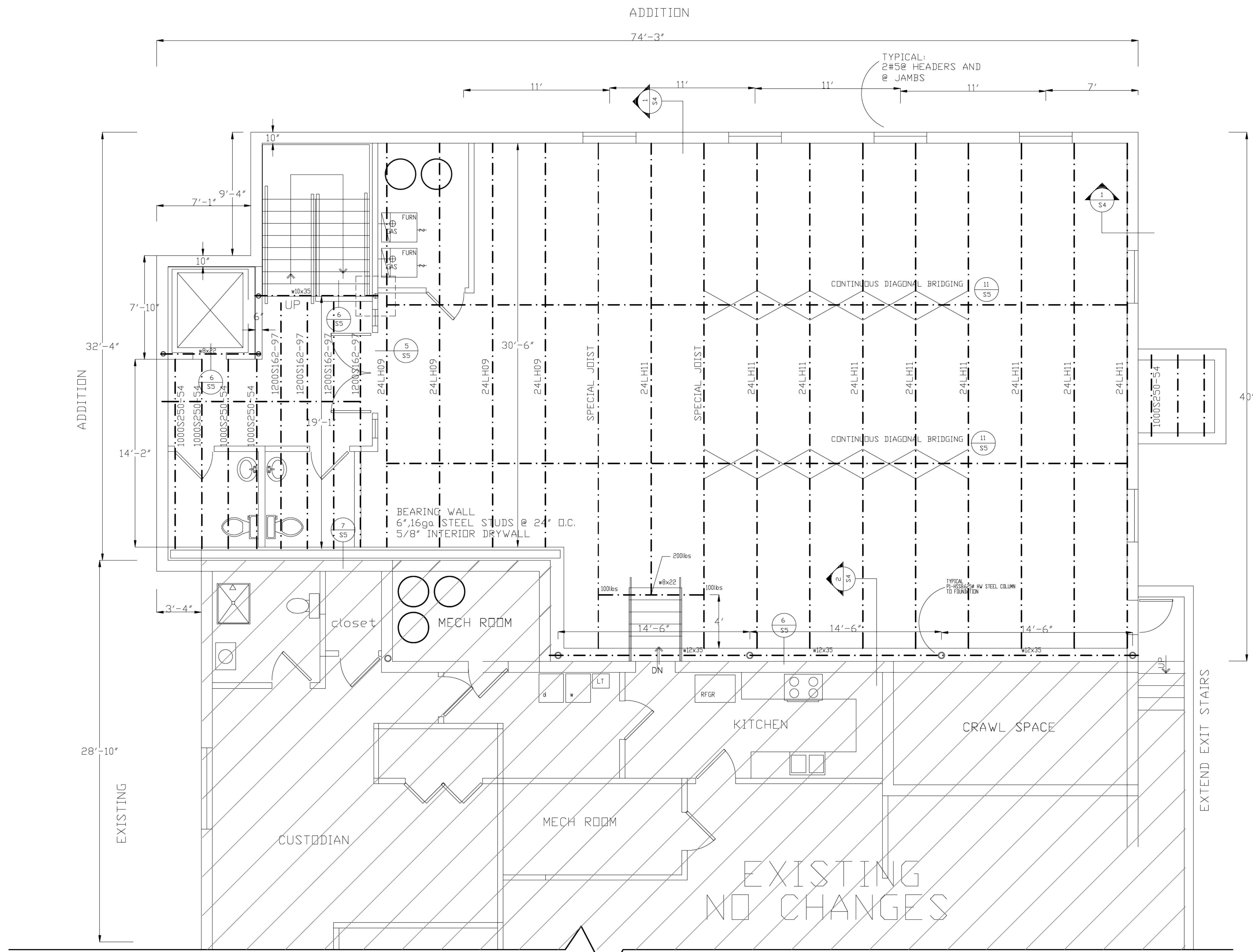
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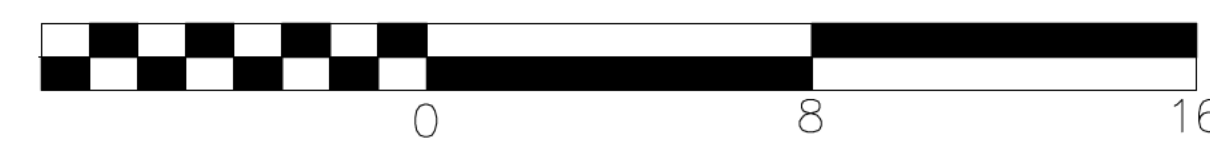
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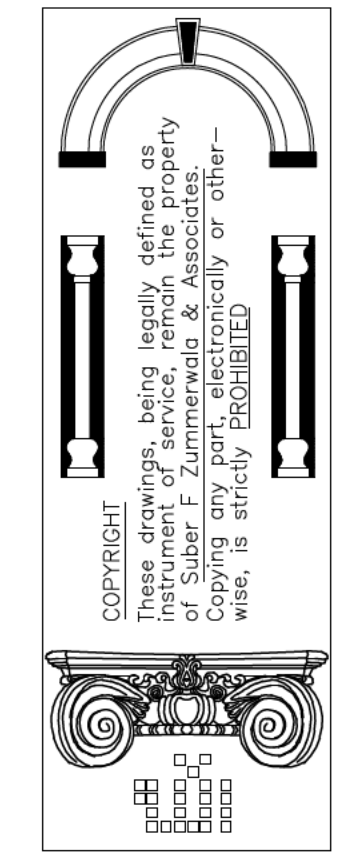
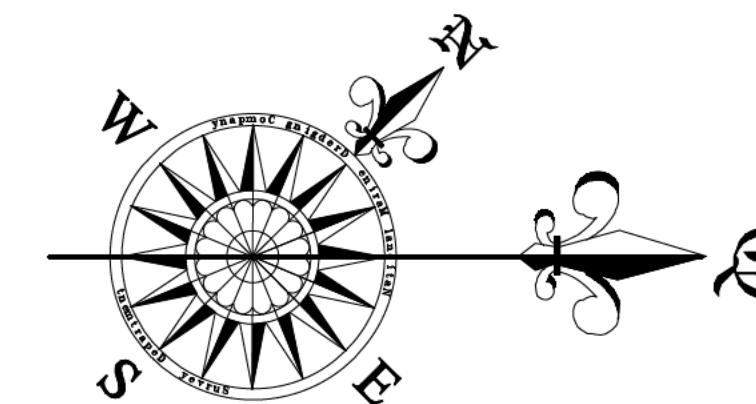




FIRST FLOOR FRAMING PLAN



SCALE: 1/4"=1'

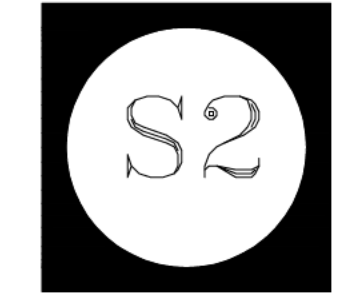


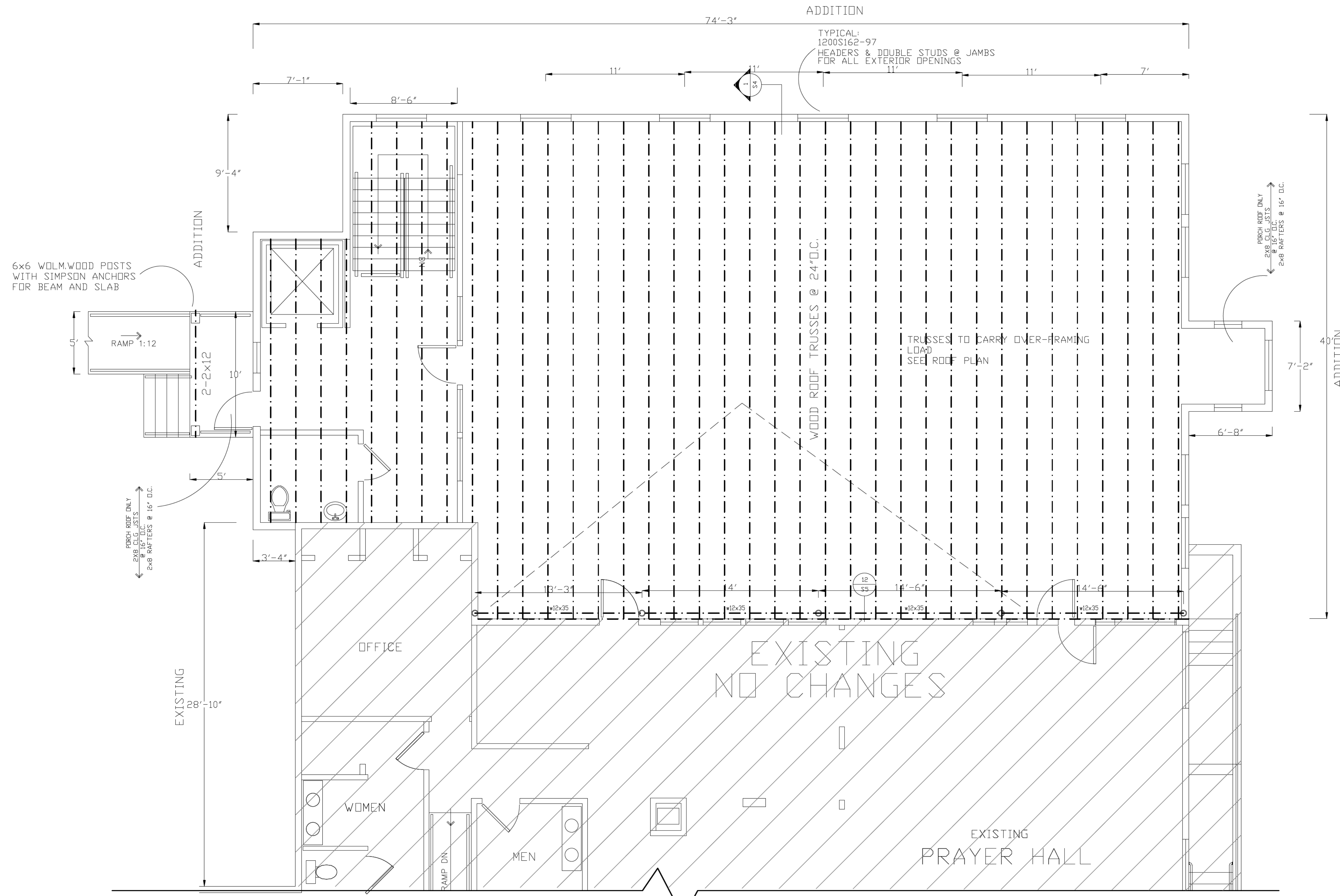
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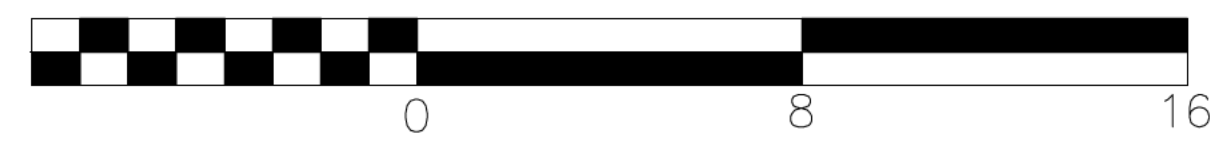
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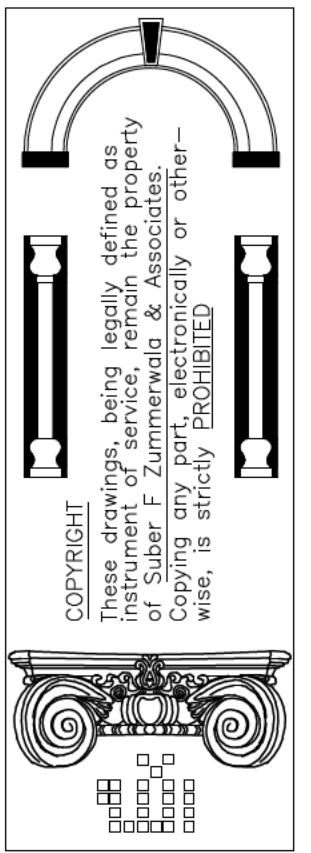
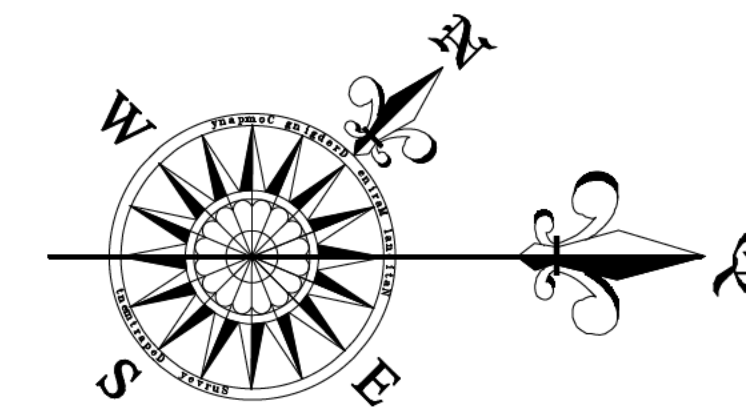




ROOF FRAMING PLAN



SCALE: 1/4"=1'



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TYP FLOOR CONSTRUCTION

TYPICAL
1 1/2"-22GA METAL DECK
TYPE B, WITH 5/8" PUDDLE WELDS
@ 12" O.C.

5/8" DRYWALL CEILING

CONT. 6",16ga BOTTOM TRACK
WITH SILL SEALER AND 1/2" DIA,10"L
ANCHOR BOLTS W/ NUT AND WASHER @
4' O.C.,7" INTO CONCRETE,MIN. 2/PL &
12" MAX @ CORNERS

TYP FONDATION WALL

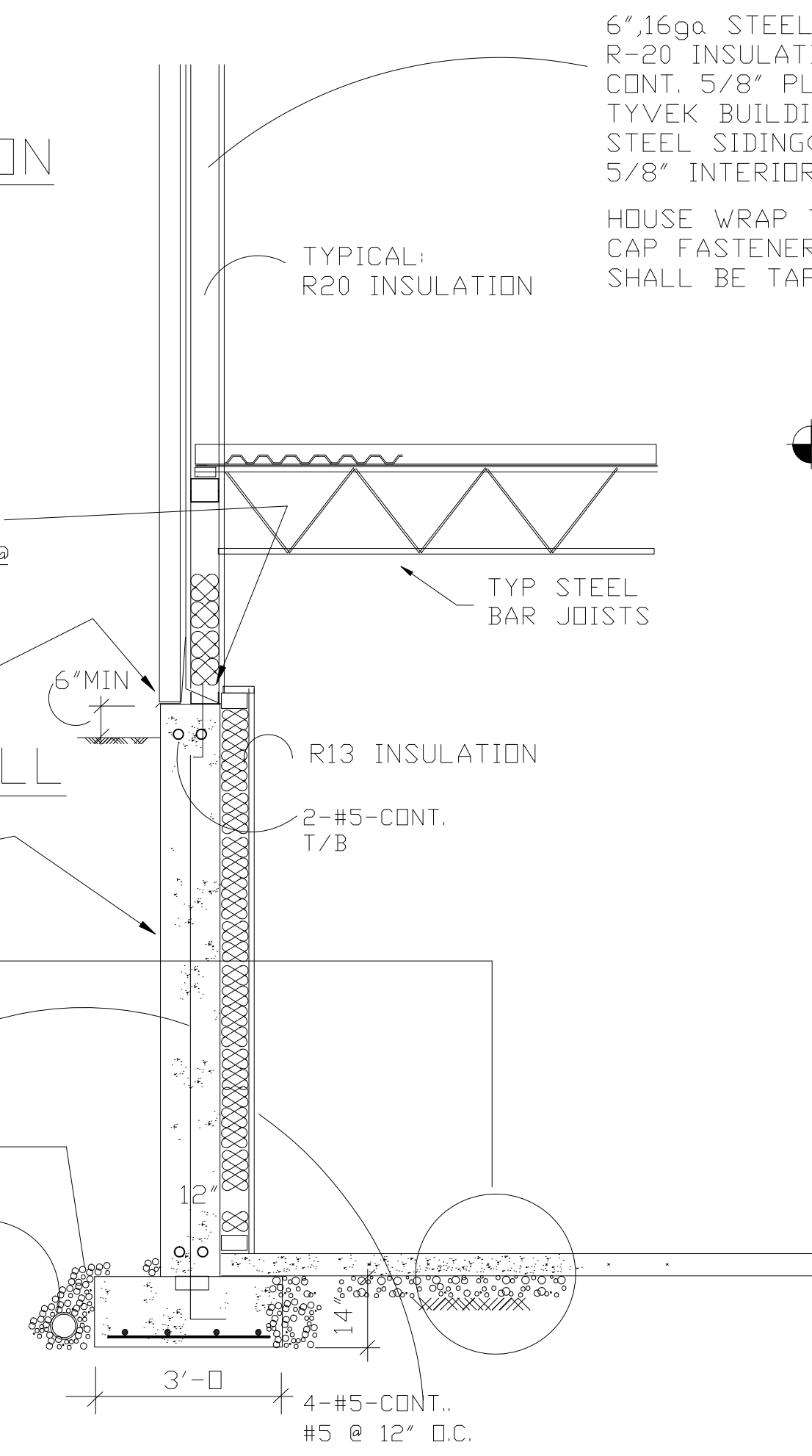
POURED CONCRETE FOUNDATION WALL
WITH 2#5 CONT TOP AND BOTTOM
ASPHALT DAMPROOFING

4" CONCRETE SLAB W/ 6X6,
10 GA WWM OVER 4" MIN GRAVEL
AND 6 MIL VAPOR BARRIER

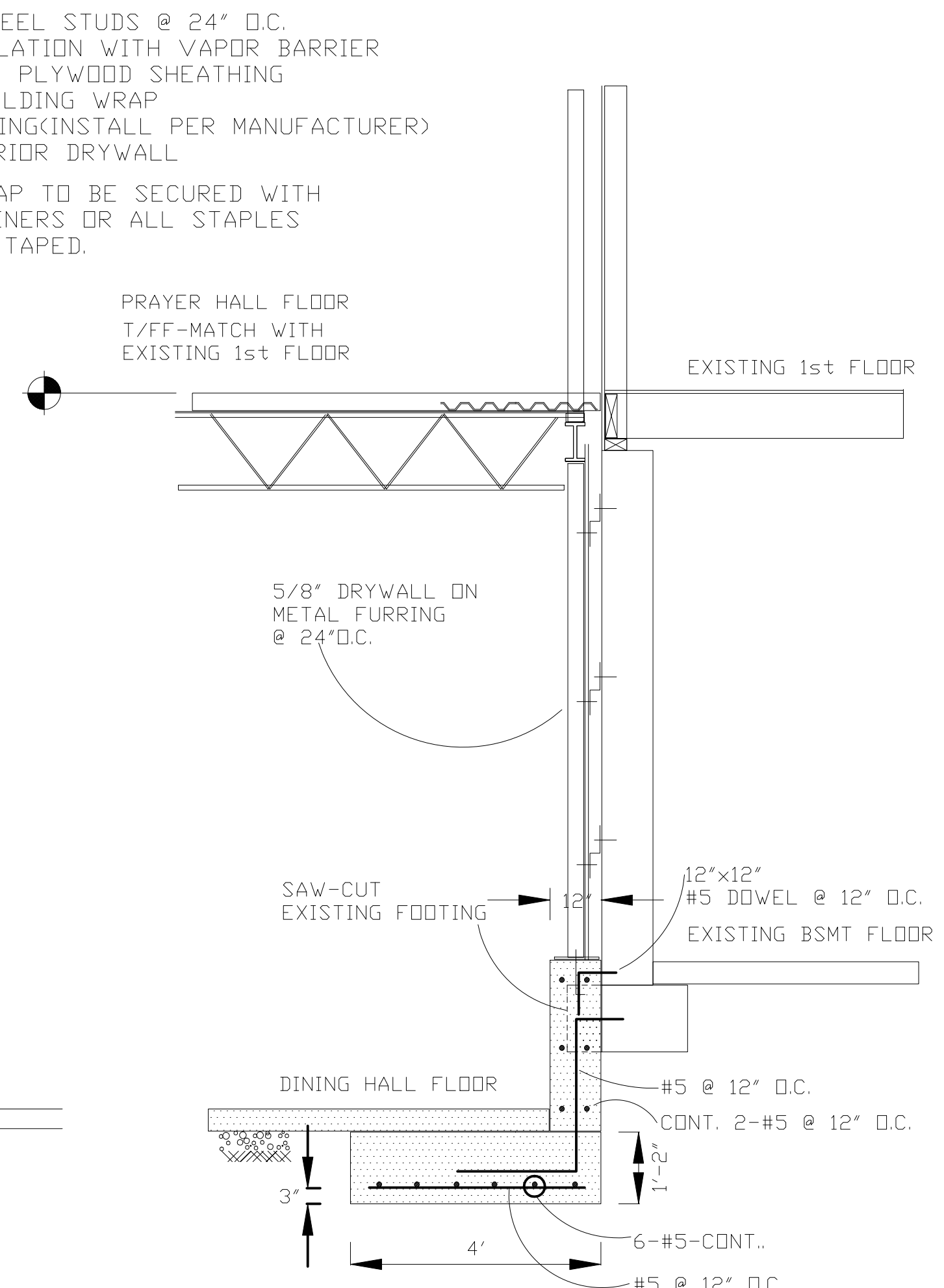
#6 REBAR @ 24" O.C.

CONT POURED CONCRETE STRIP
FOOTING W/2X4 CONT KEY

CONT PERIMETER 4" DRAIN TILE
IN 8" WASHED STONE AND MIN 12"
STONE COVER,BUILDING PAPER
OVER TILE



1 DETAIL SECTION



2 DETAIL SECTION

TYP FLOOR CONSTRUCTION

TYPICAL
1 1/2"-22GA METAL DECK
TYPE B, WITH 5/8" PUDDLE WELDS
@ 12" O.C.

5/8" DRYWALL CEILING

CONT. 6",16ga BOTTOM TRACK
WITH SILL SEALER AND 1/2" DIA,10"L
ANCHOR BOLTS W/ NUT AND WASHER @
4' O.C.,7" INTO CONCRETE,MIN. 2/PL &
12" MAX @ CORNERS

TYP FONDATION WALL

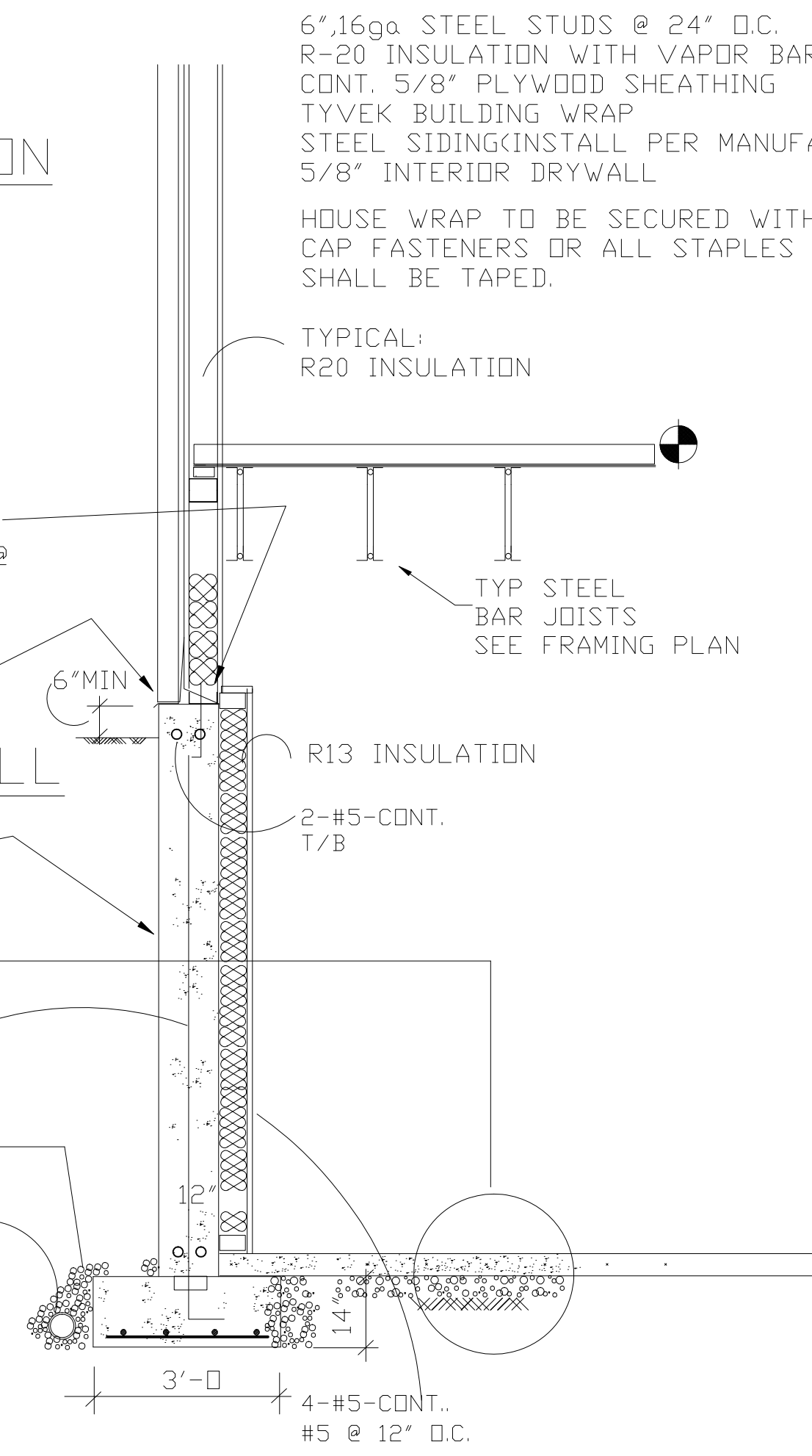
POURED CONCRETE FOUNDATION WALL
WITH 2#5 CONT TOP AND BOTTOM
ASPHALT DAMPROOFING

4" CONCRETE SLAB W/ 6X6,
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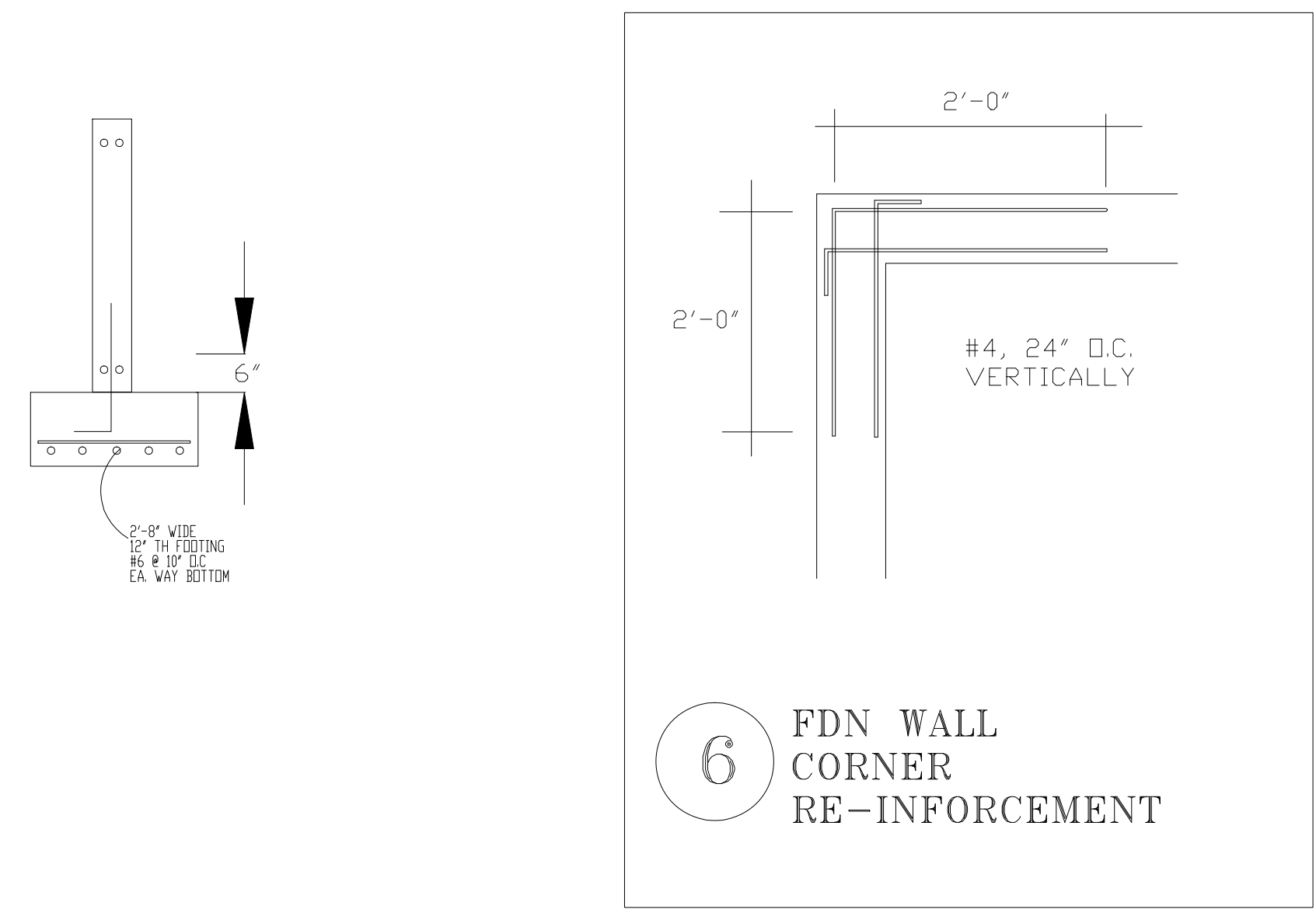
#6 REBAR @ 24" O.C.

CONT POURED CONCRETE STRIP
FOOTING W/2X4 CONT KEY

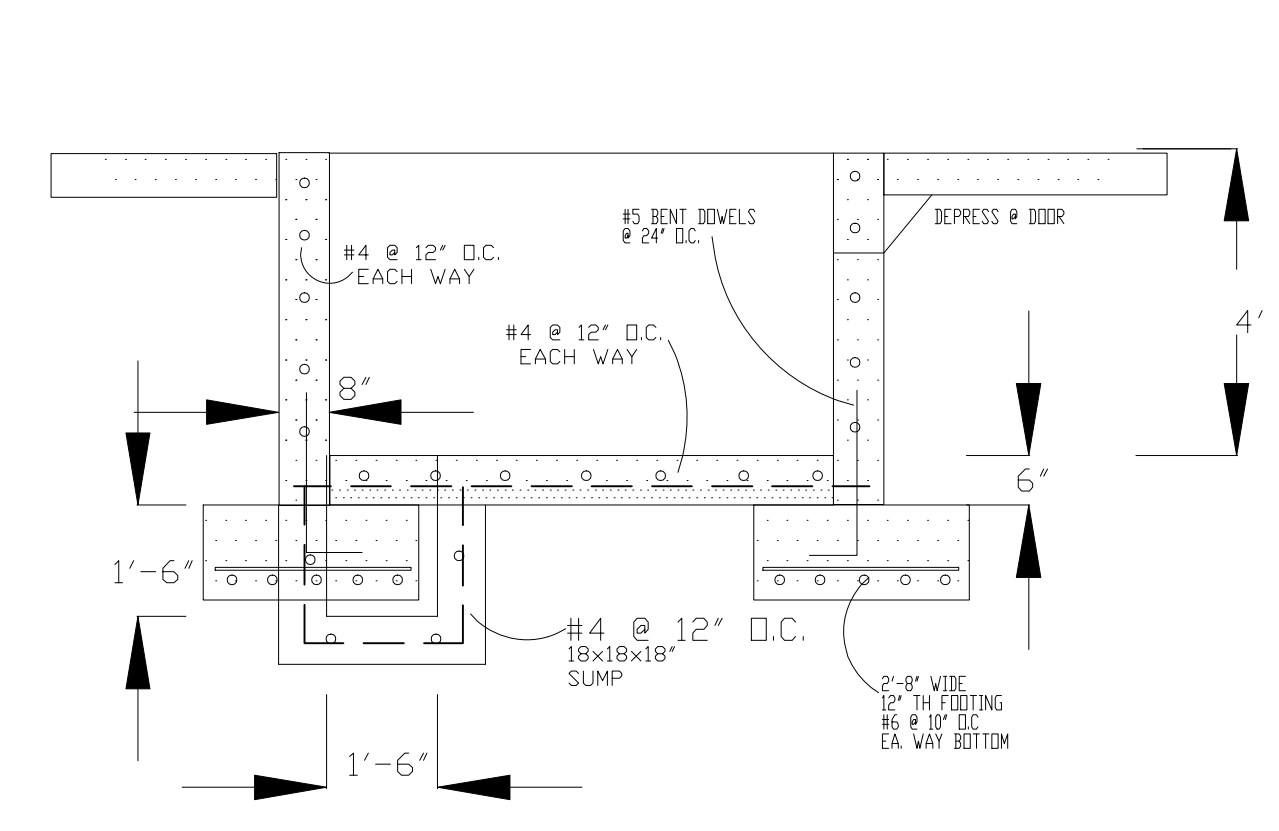
CONT PERIMETER 4" DRAIN TILE
IN 8" WASHED STONE AND MIN 12"
STONE COVER,BUILDING PAPER
OVER TILE



3 DETAIL SECTION

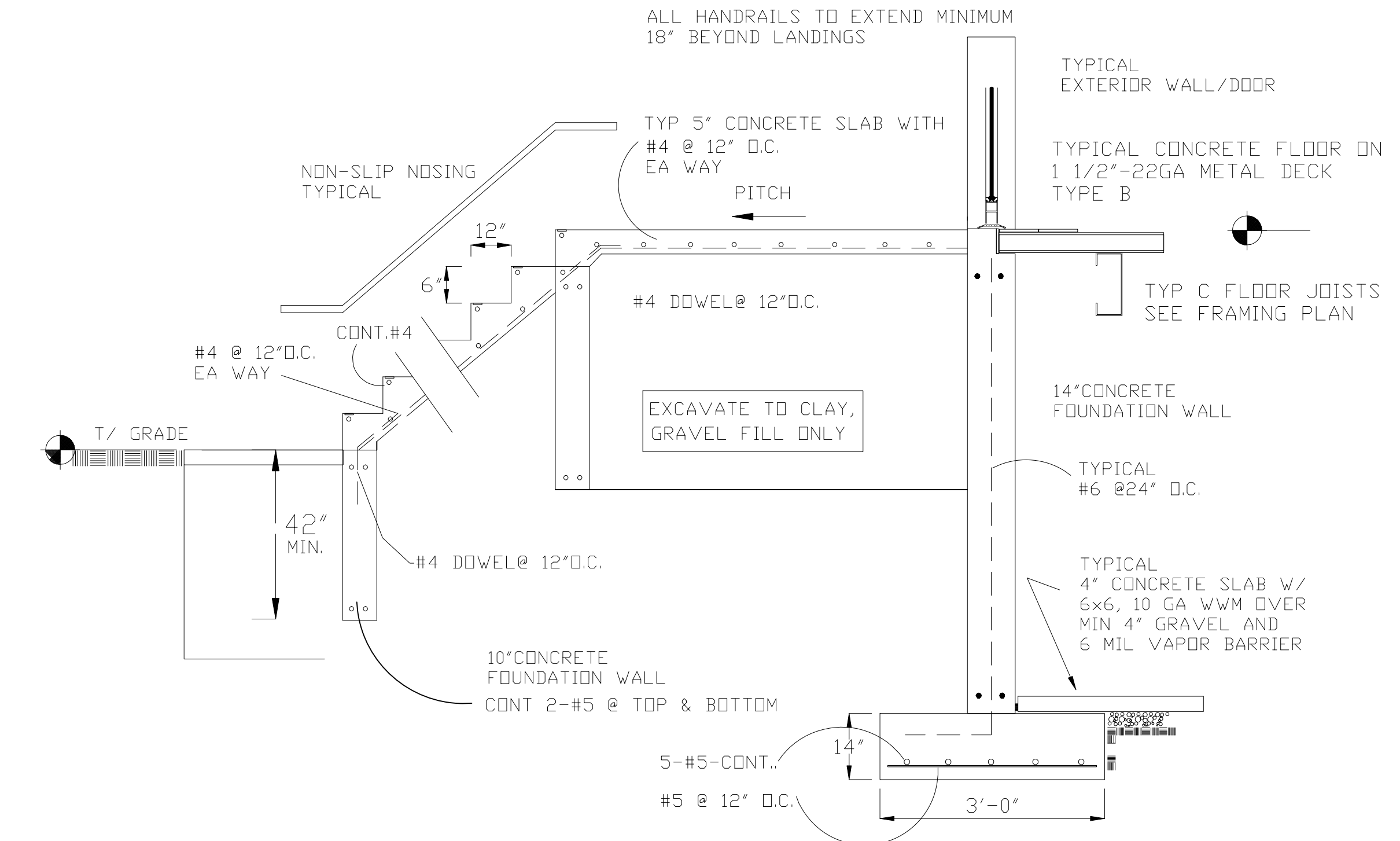


6 FDN WALL CORNER RE-INFORCEMENT

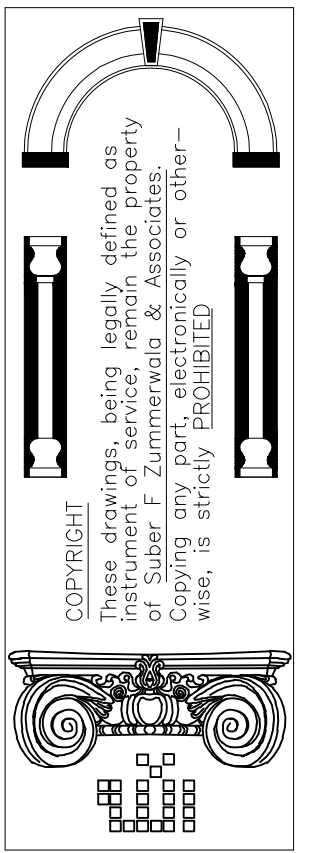


5 DETAIL SECTION @ ELEVATOR PIT

ALL DETAILS: N.T.S.



4 DETAIL SECTION @ PORCH

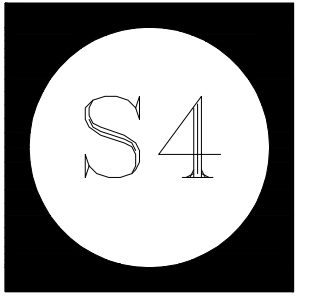


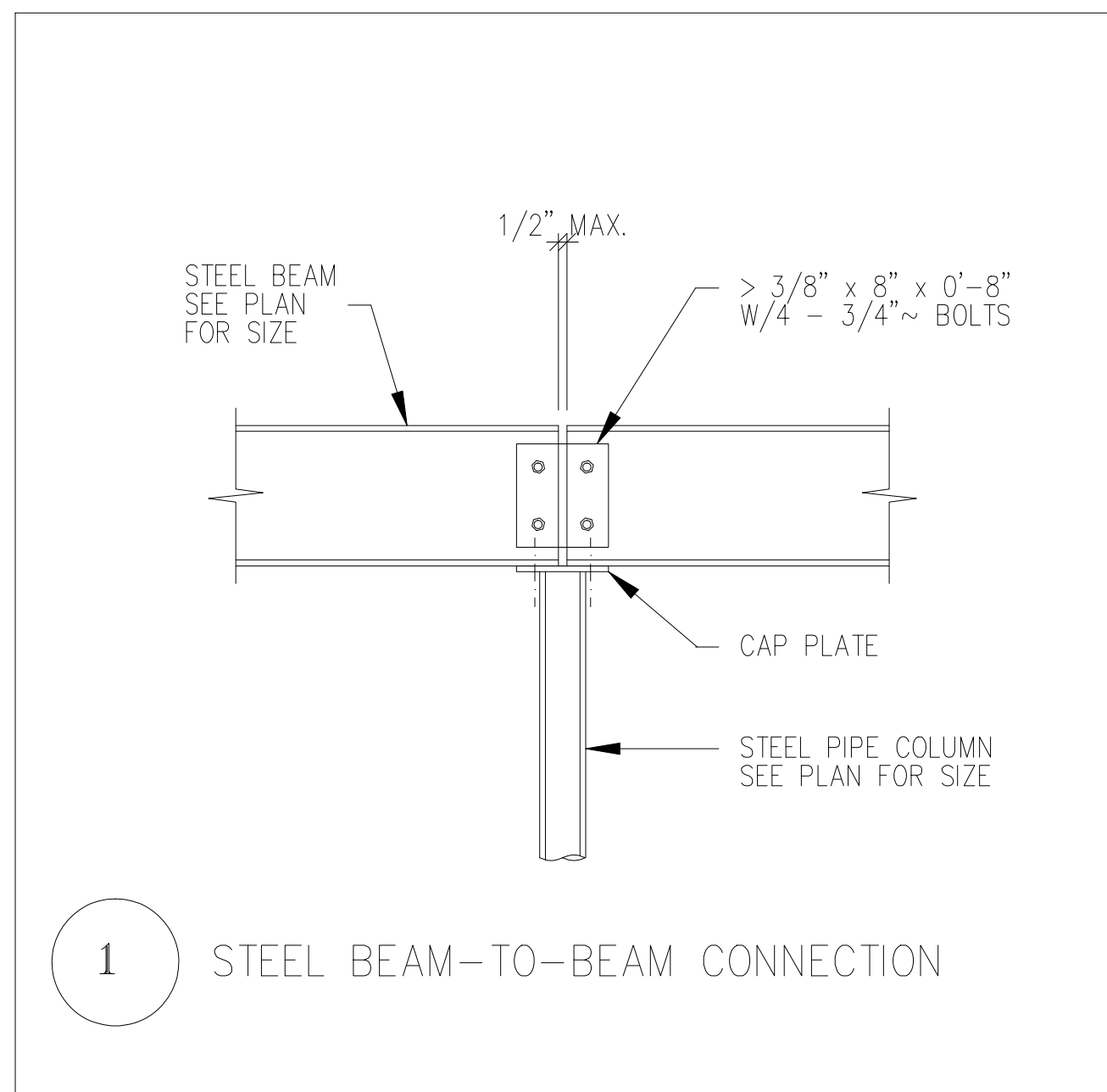
Suber F. Zimmerwala & Associates
ARCHITECTS & PLANNERS
DESIGN FIRM LIC. NO. 184-004407
333 W. Irving Park Road, Suite # 202
Roseville, IL 60172
PH: 847.951-0472
DESIGN FIRM LIC. NO. 184-004407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

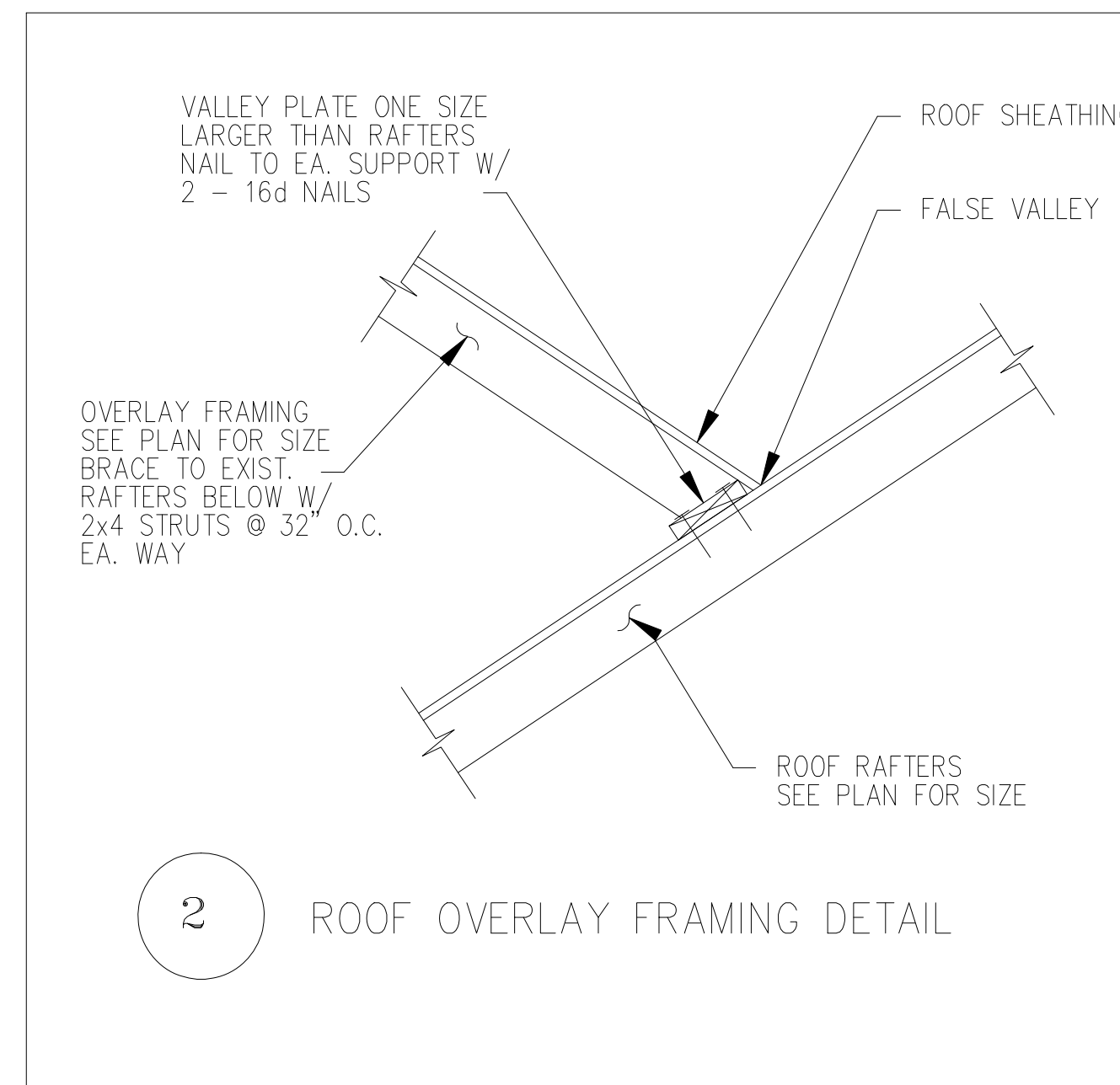
NO.	REVISION	DATE

DRAWN BY: MK
CHECKED BY: SZ
PROJECT NO.: 23321
DATE: 04/5/24

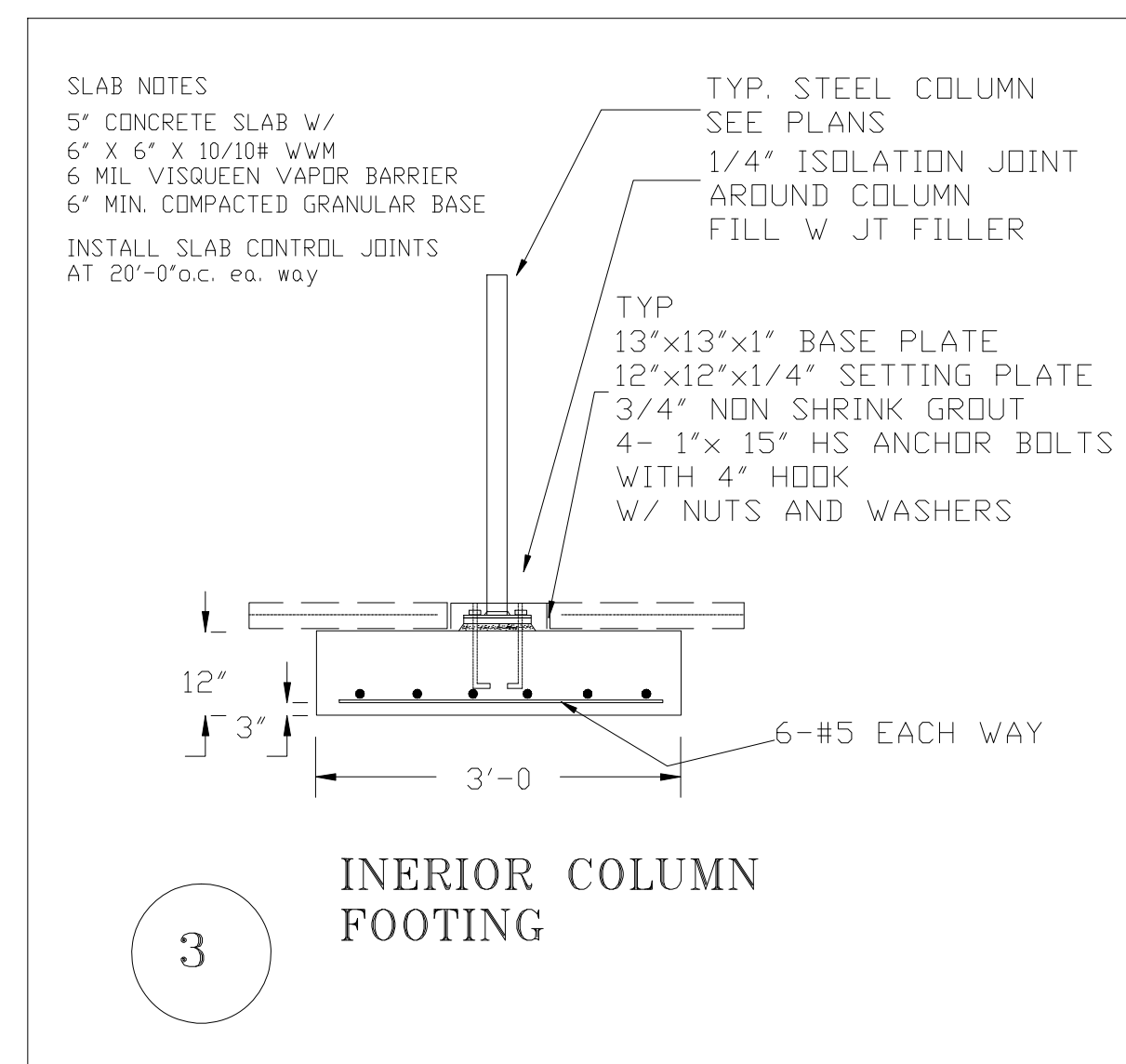




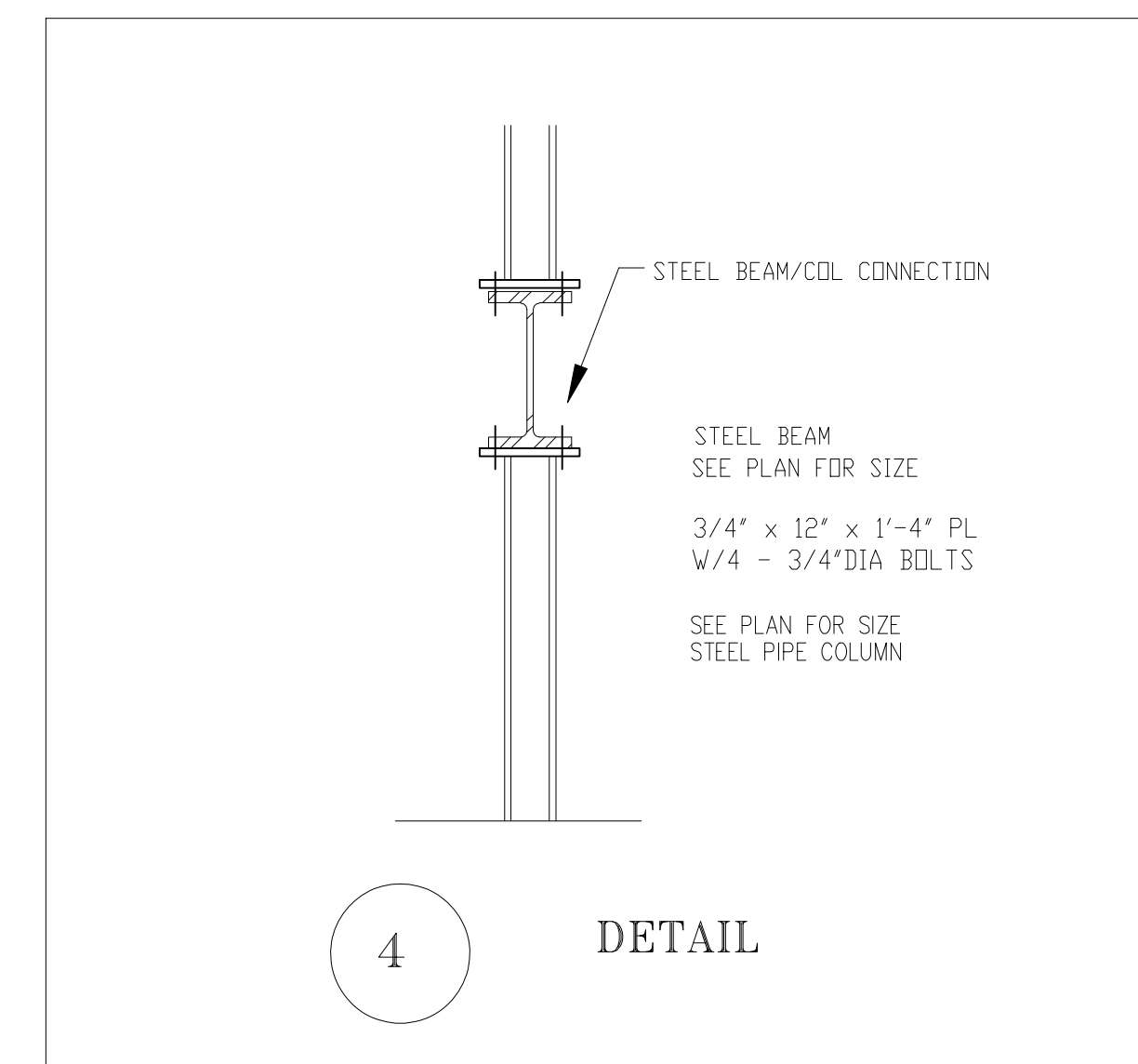
1 STEEL BEAM-TO-BEAM CONNECTION



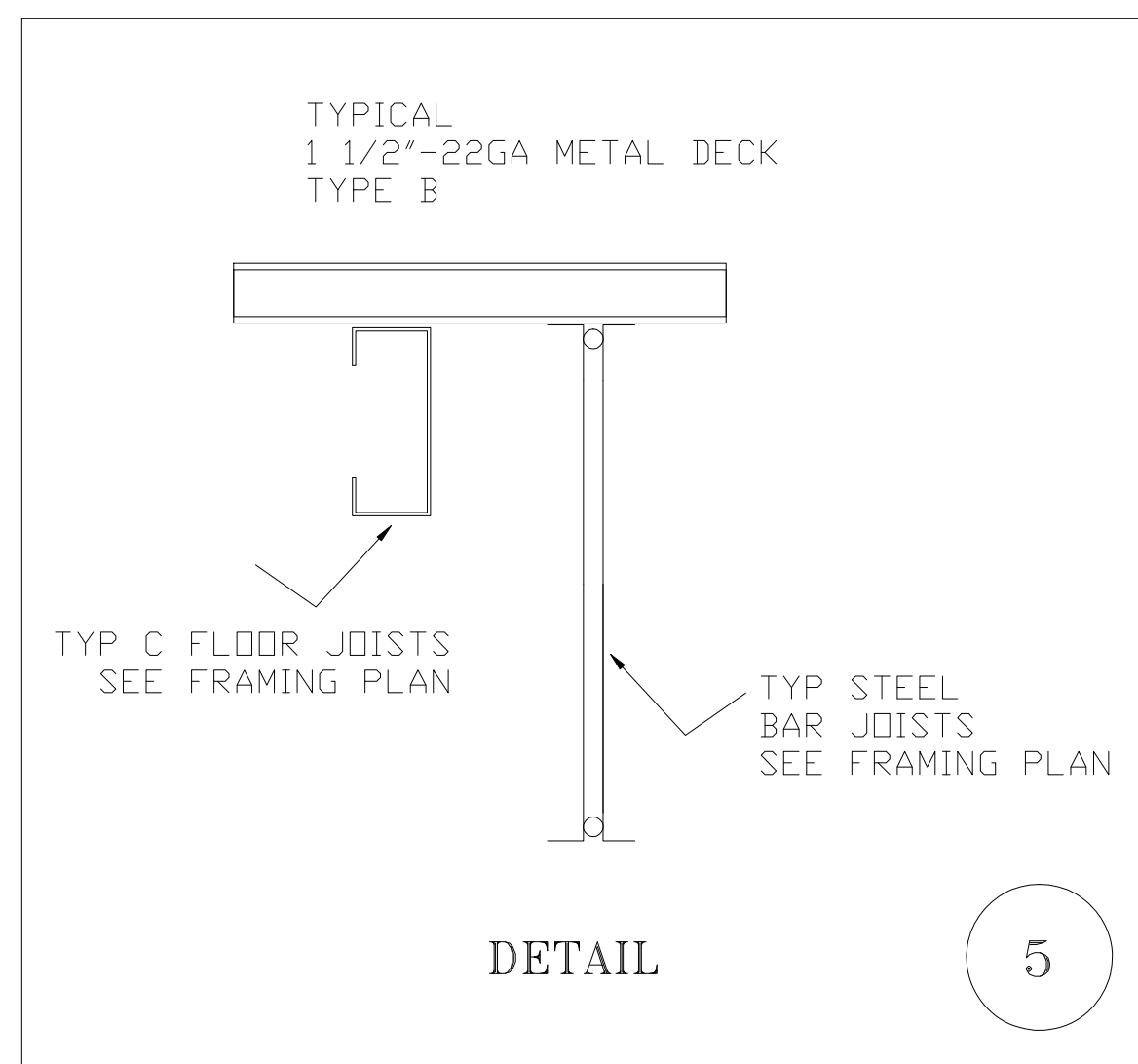
2 ROOF OVERLAY FRAMING DETAIL



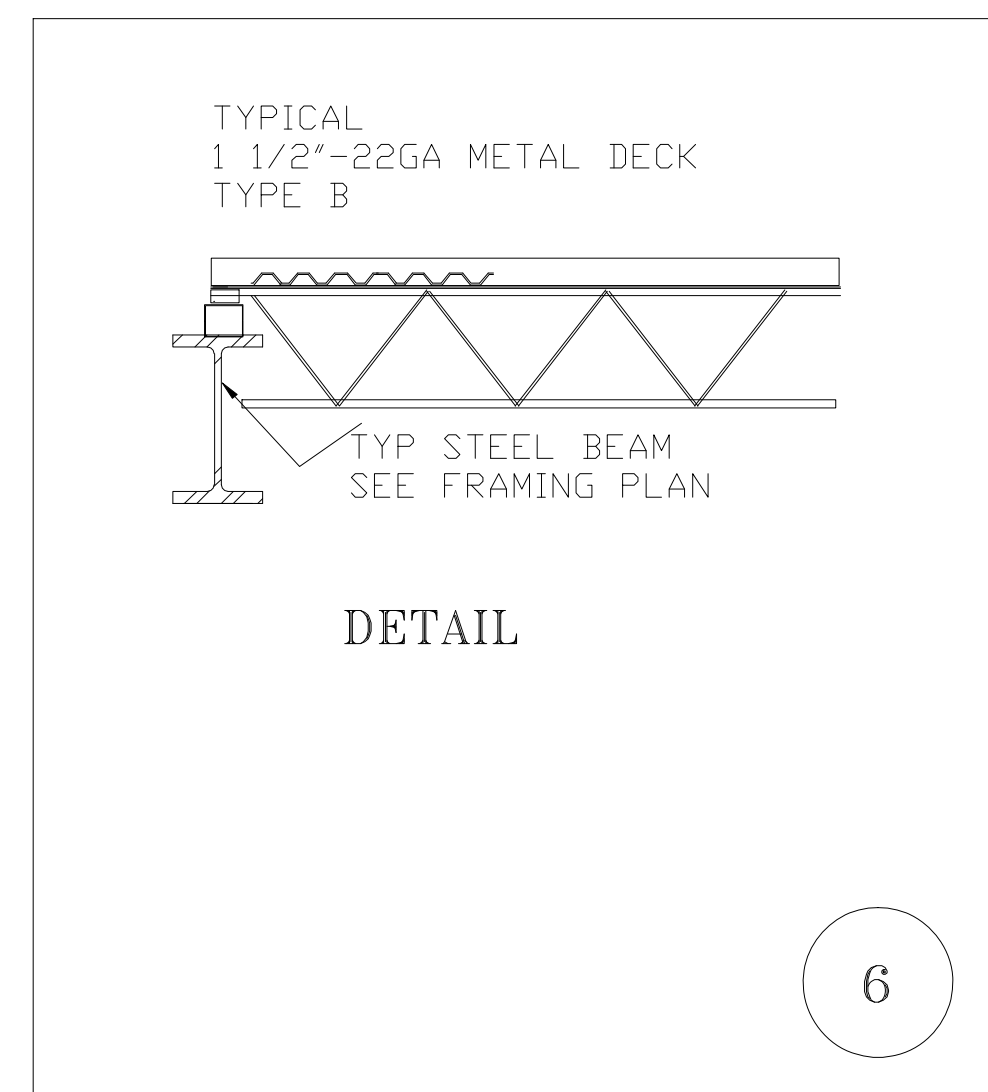
3 INTERIOR COLUMN FOOTING



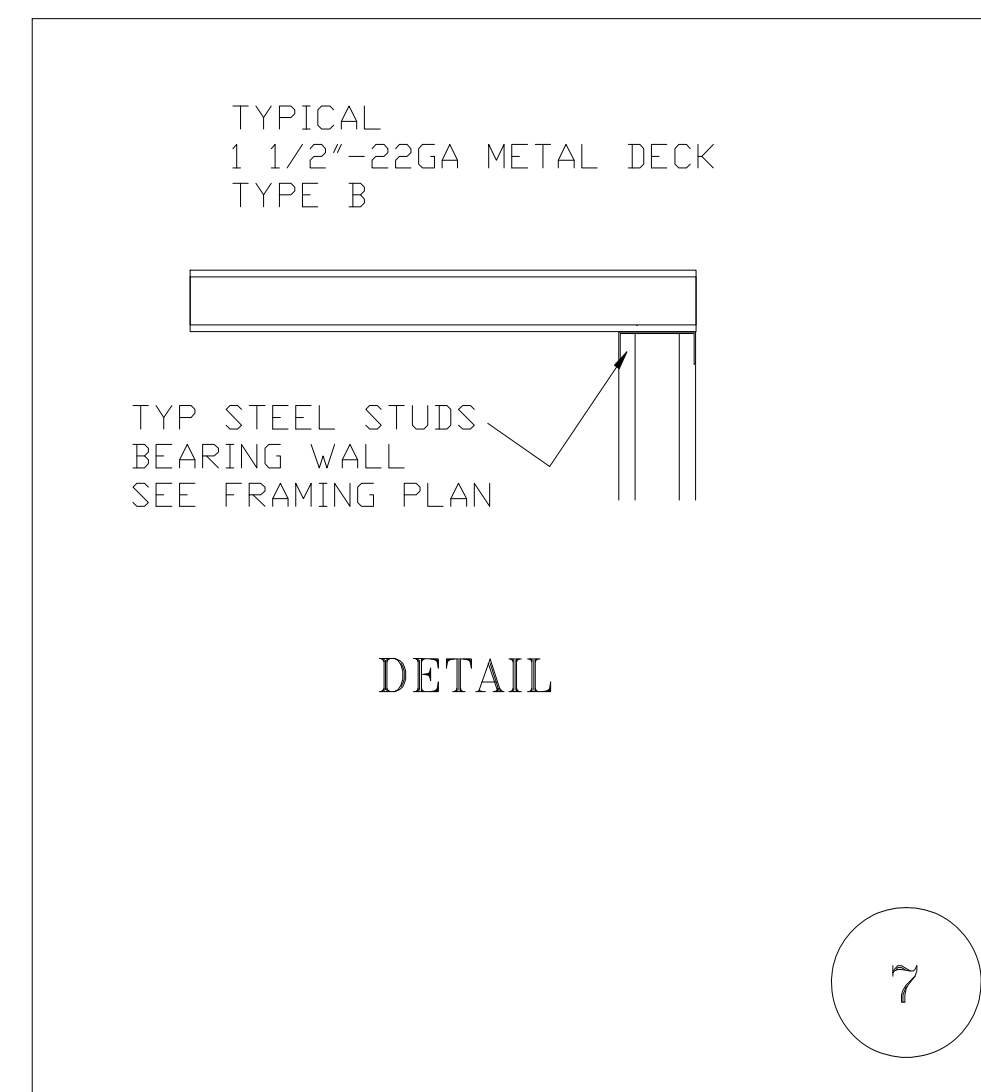
4 DETAIL



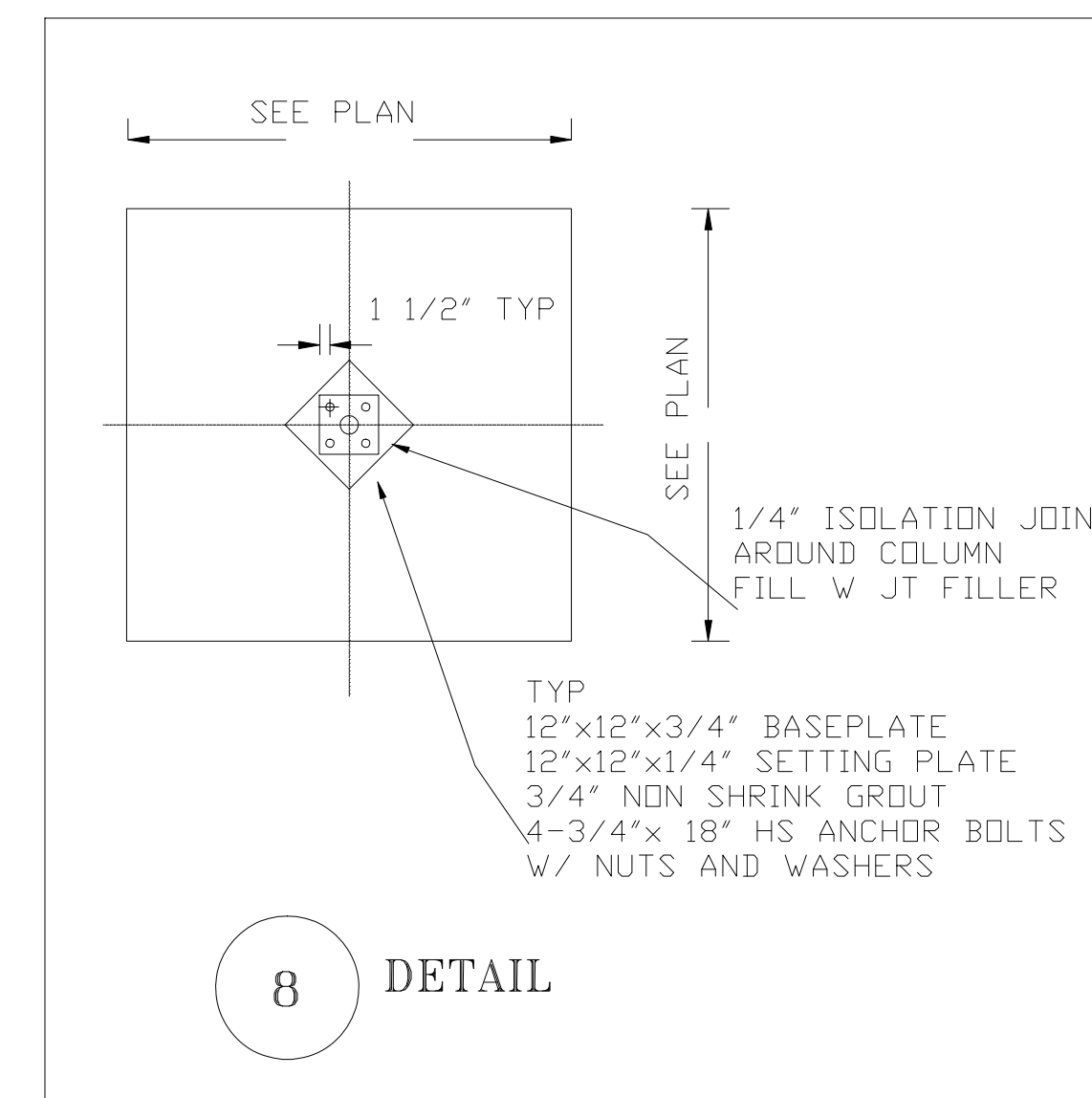
5 DETAIL



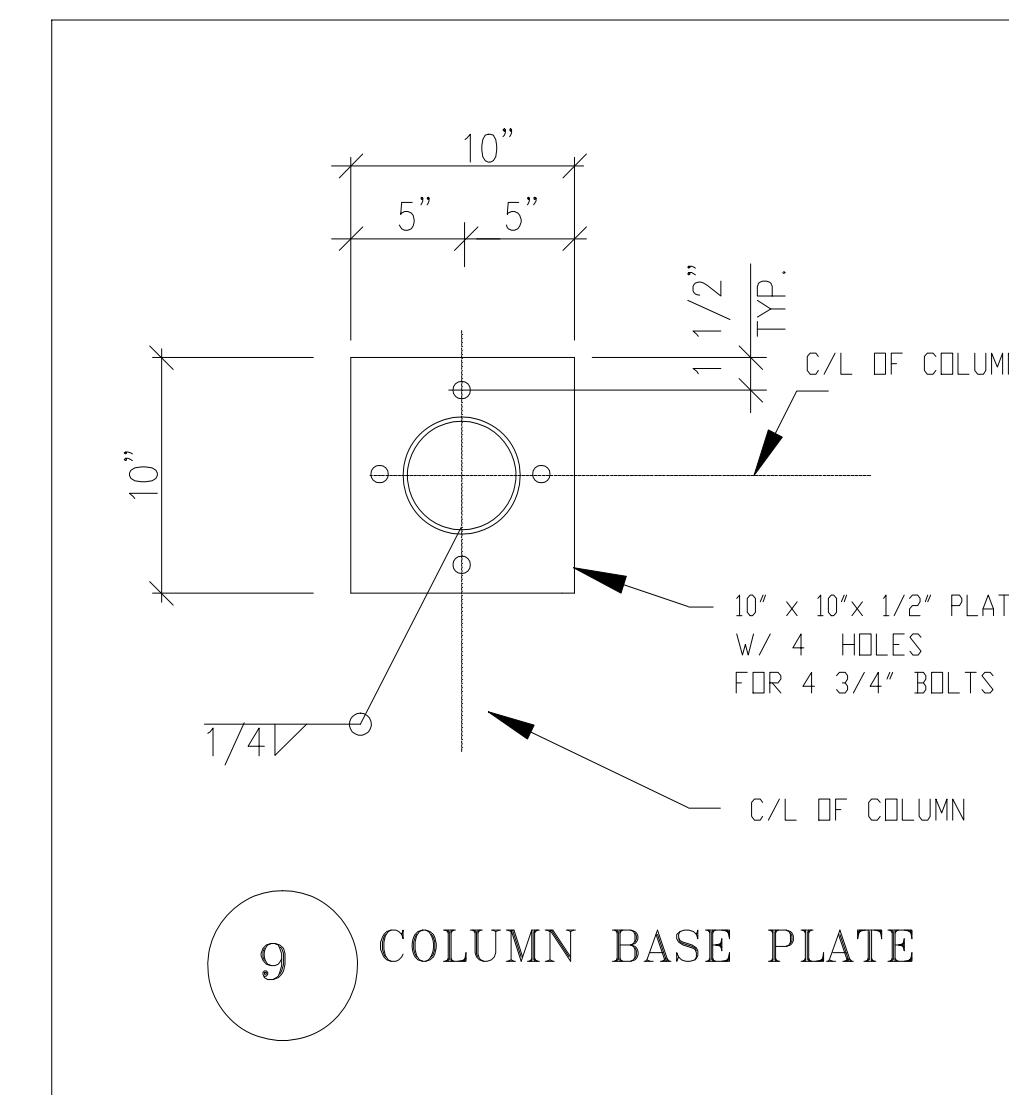
6 DETAIL



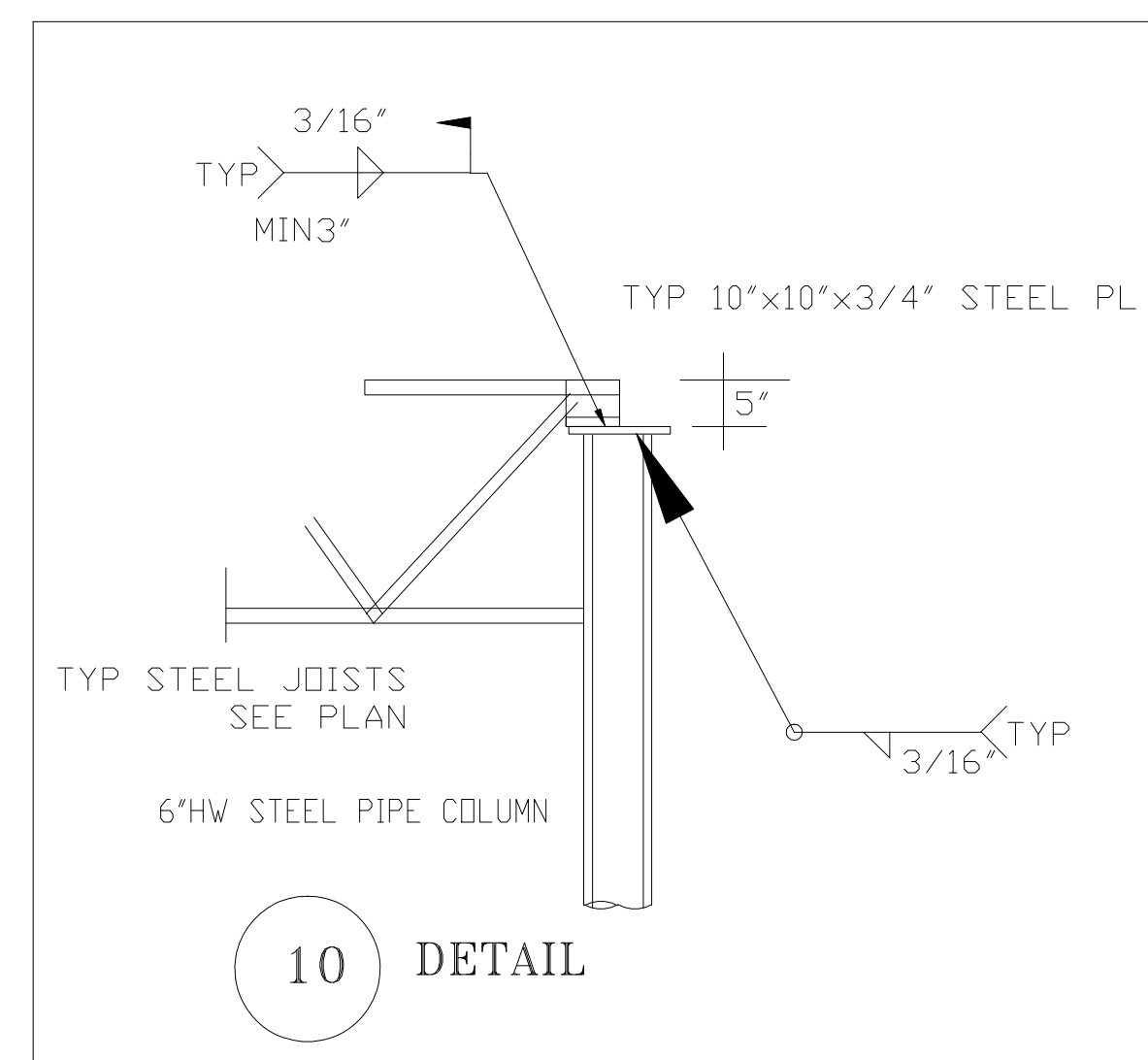
7 DETAIL



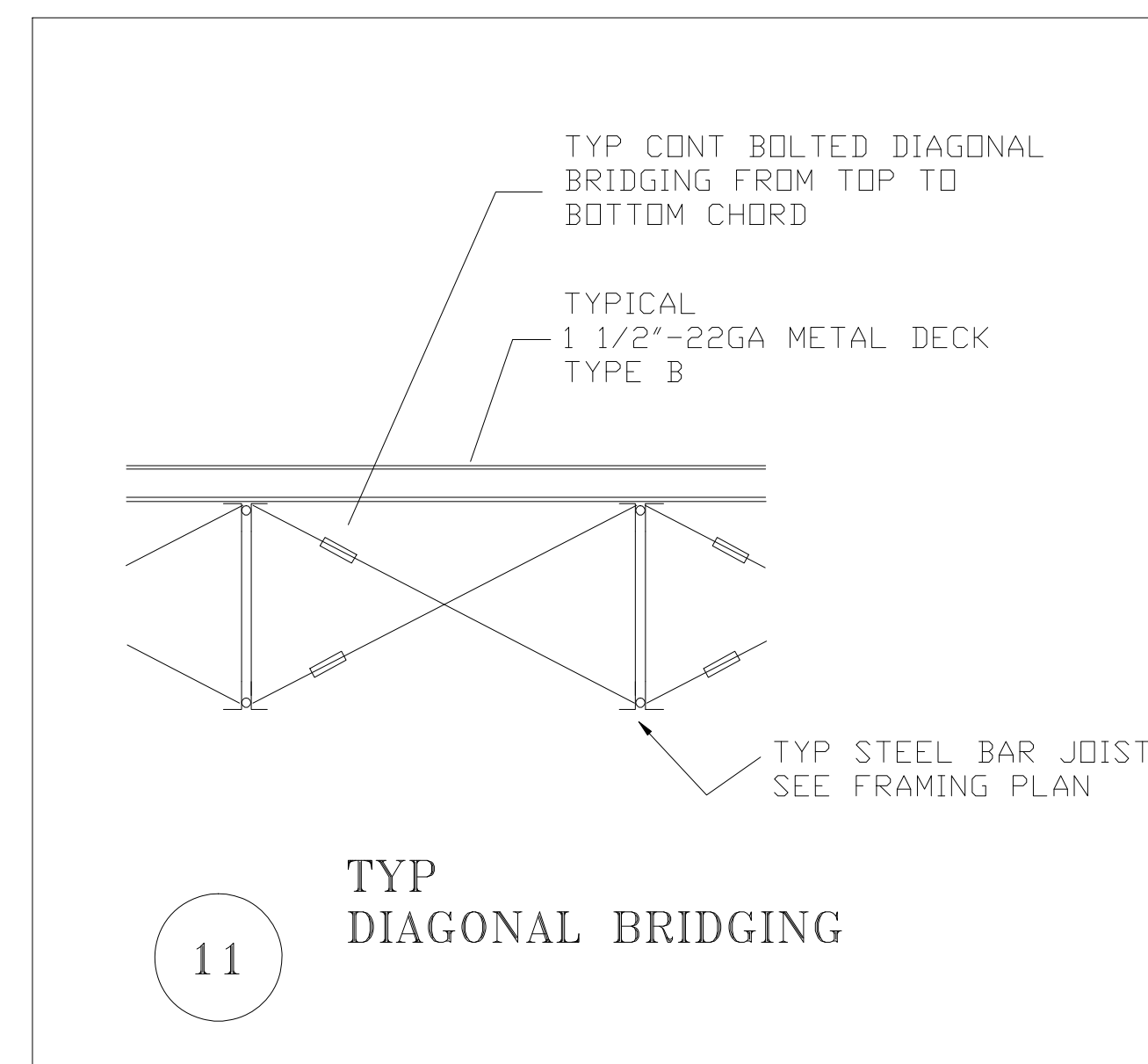
8 DETAIL



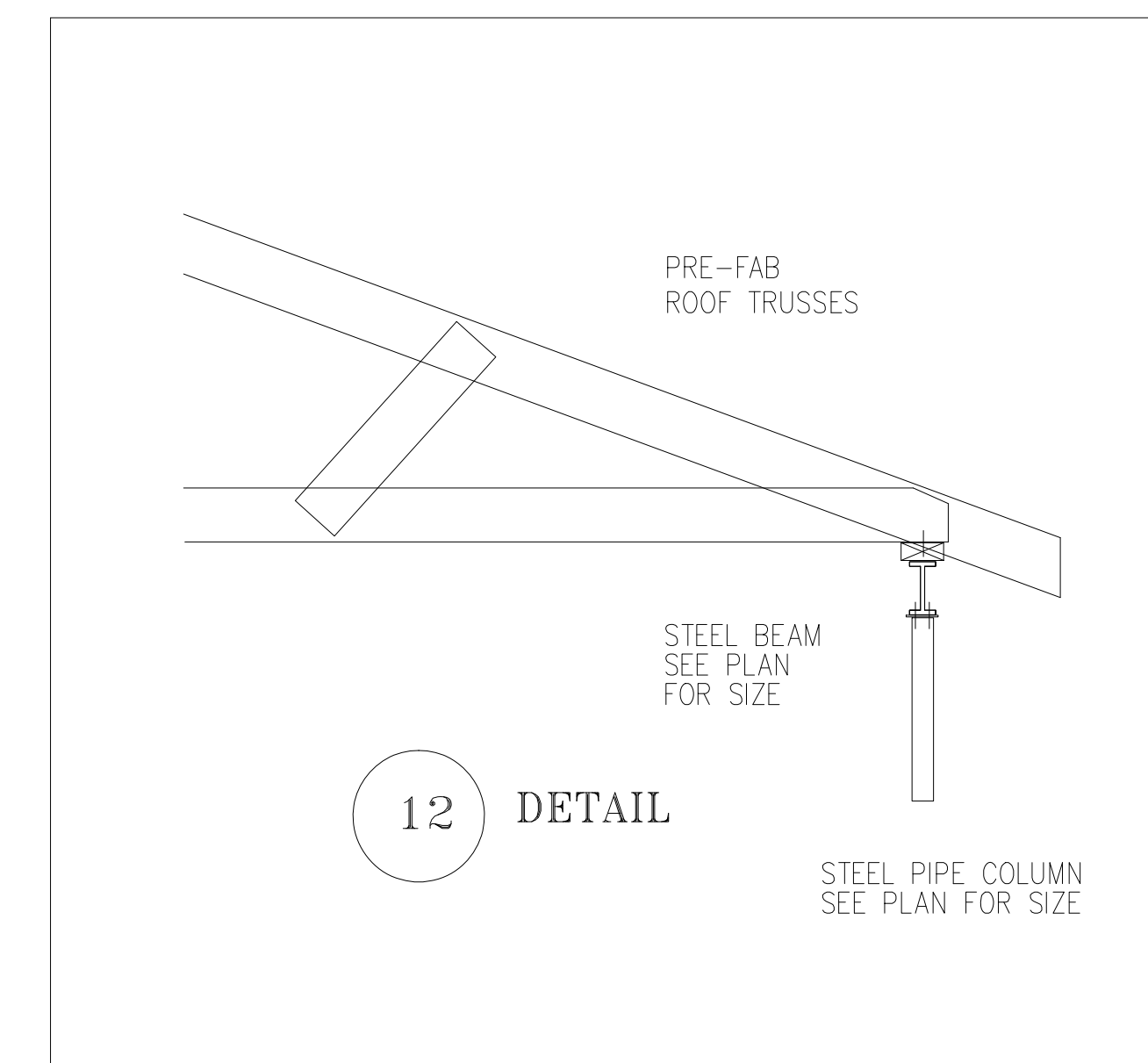
9 COLUMN BASE PLATE



10 DETAIL

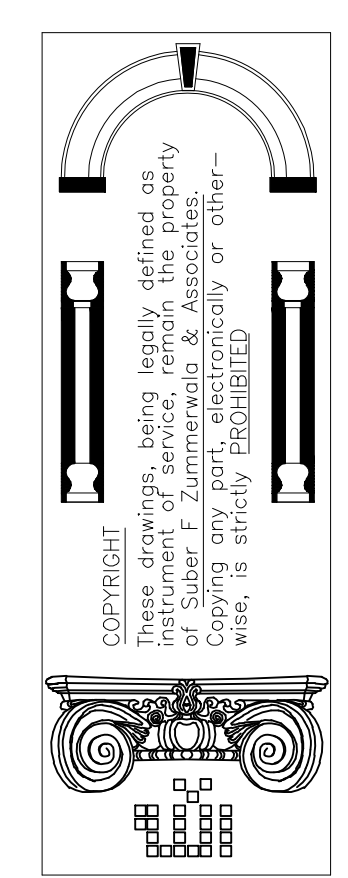


11 TYP DIAGONAL BRIDGING



12 DETAIL

ALL DETAILS: N.T.S.

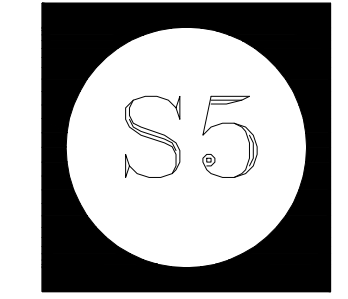


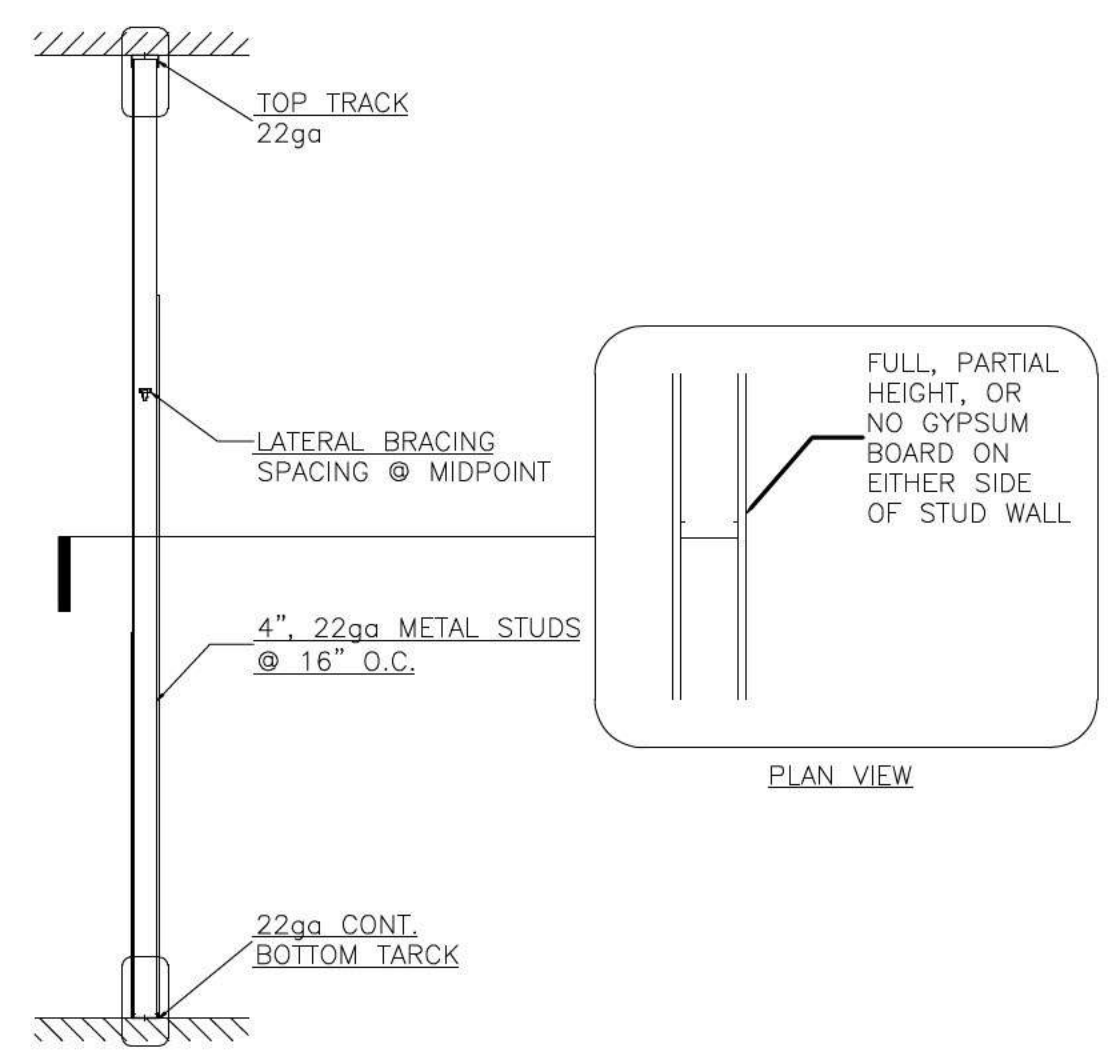
Suber F Zimmerwala & Associates
 ARCHITECTS & PLANNERS
 DESIGN FIRM LIC. NO. 184-004407
 333 W. Irving Park Road, Suite # 202
 Rose Hill, IL 60172
 PH: 847 951-0472
 DESIGN FIRM LIC. NO. 184-004407

ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
 160 HAWTHORNE ROAD
 BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

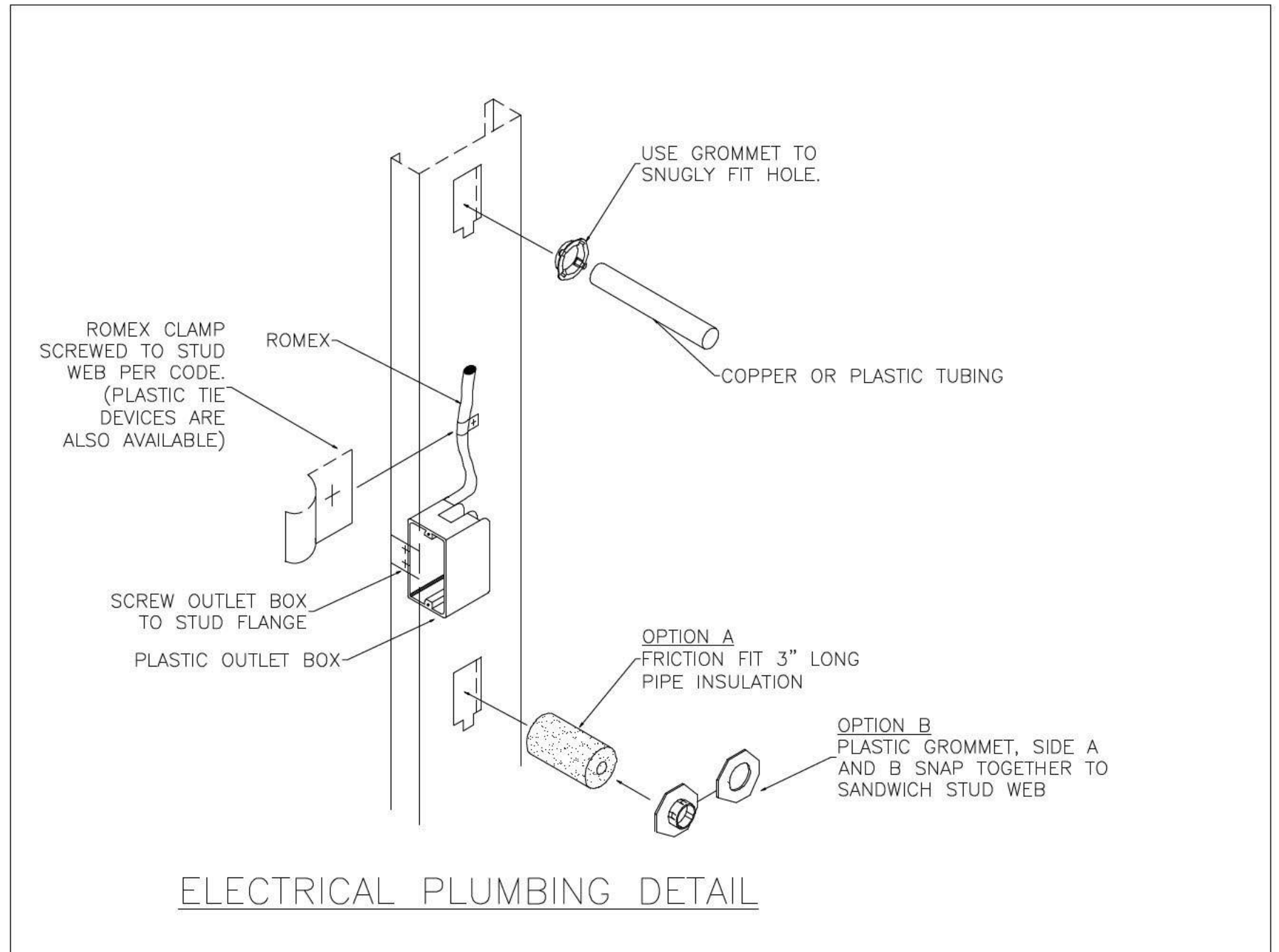
DRAWN BY: MK
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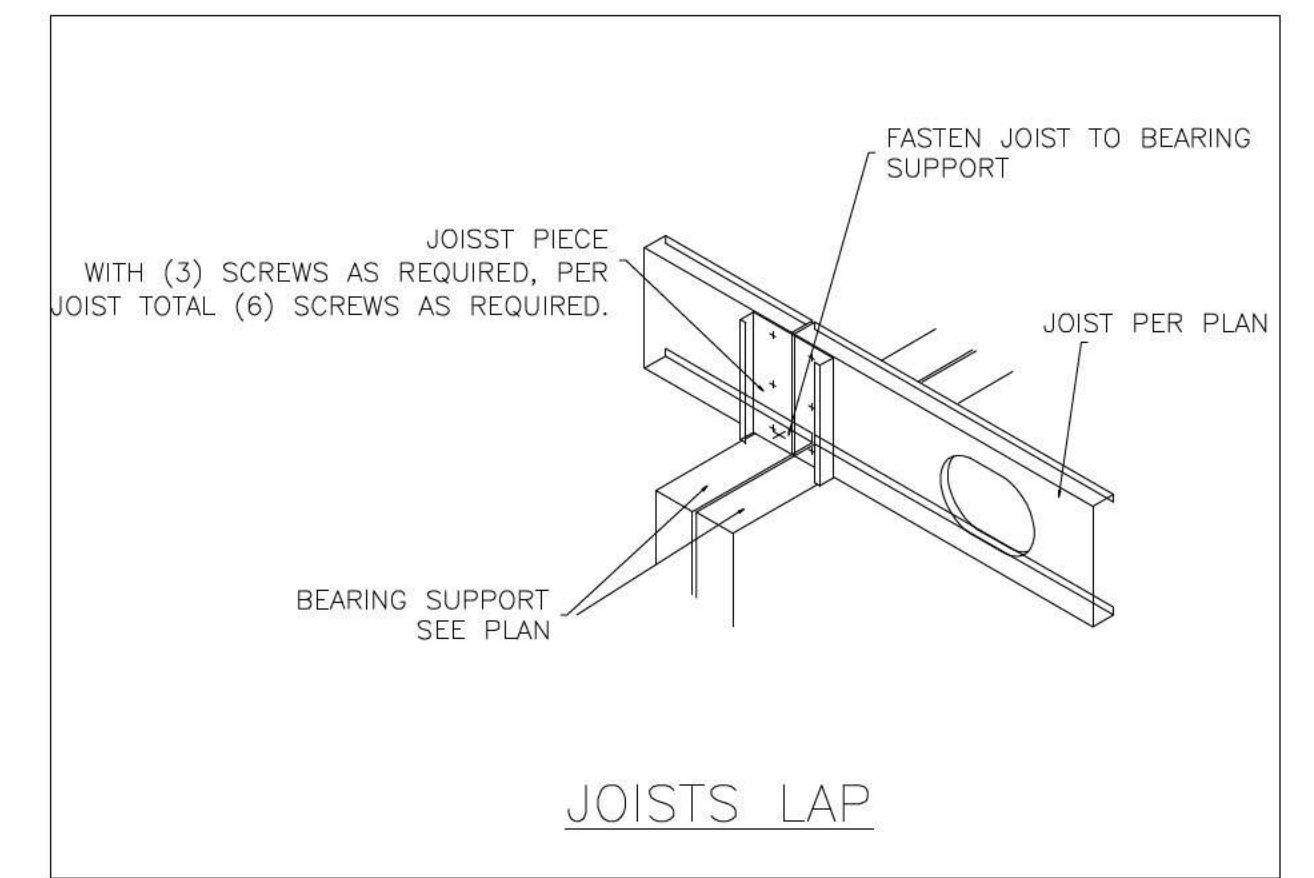


1. BRACE WALL Laterally AS REQUIRED. DETAILS.
2. WHEN ADDITIONAL WALL BLOCKING IS REQUIRED FOR THE SUPPORT OF ITEMS ATTACHED TO FACE OF WALL.

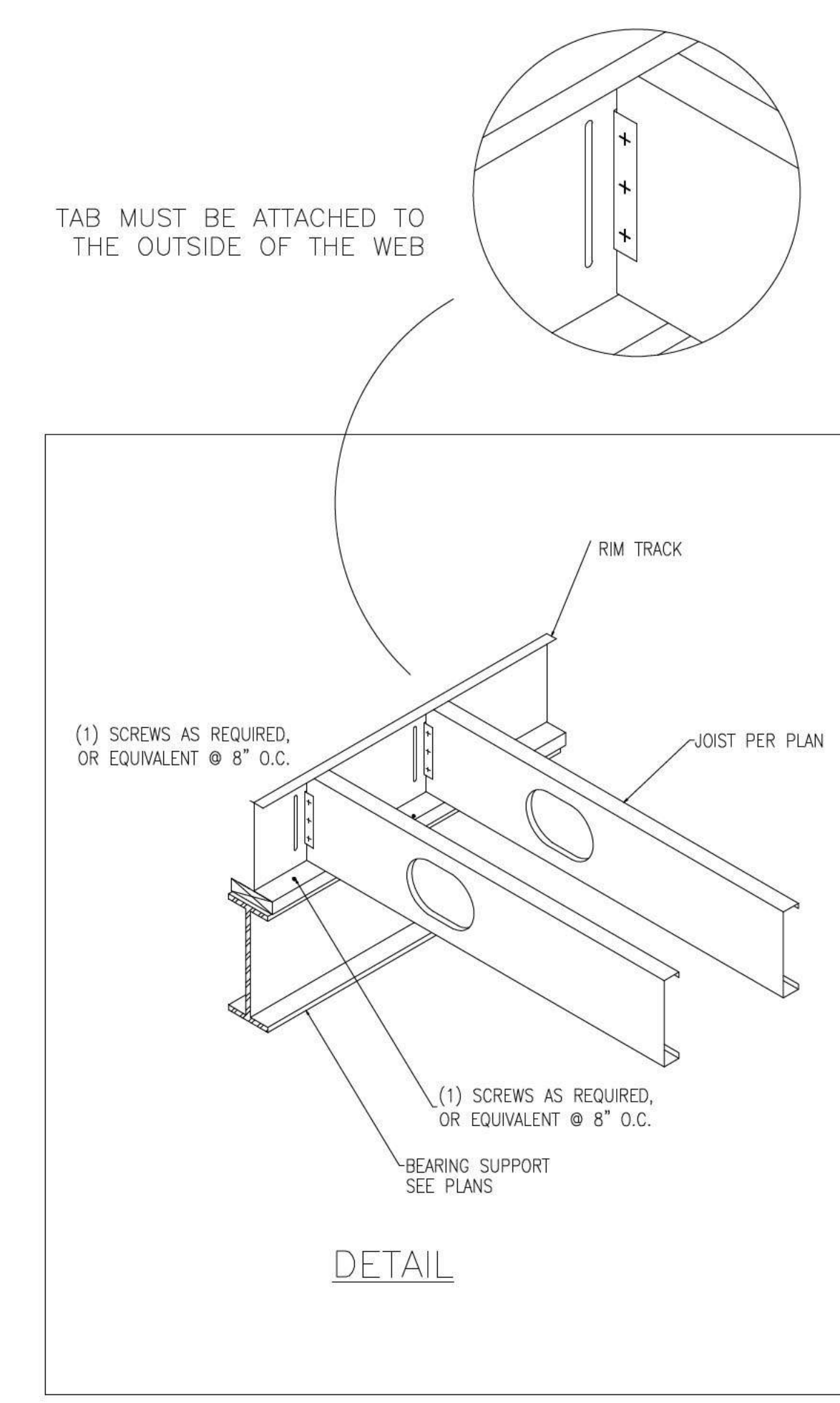
1 TYPICAL INTERIOR NON-LOAD BEARING WALL



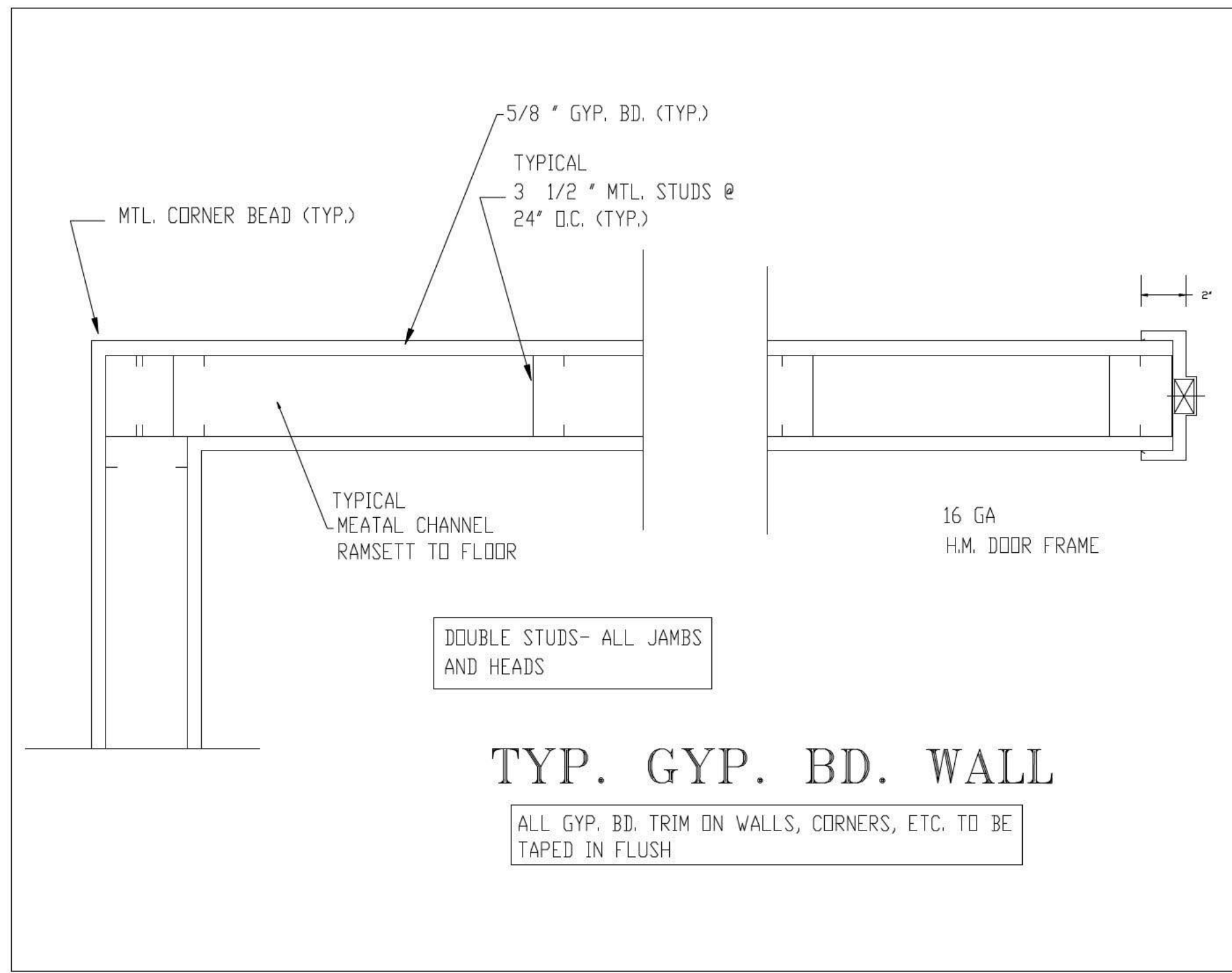
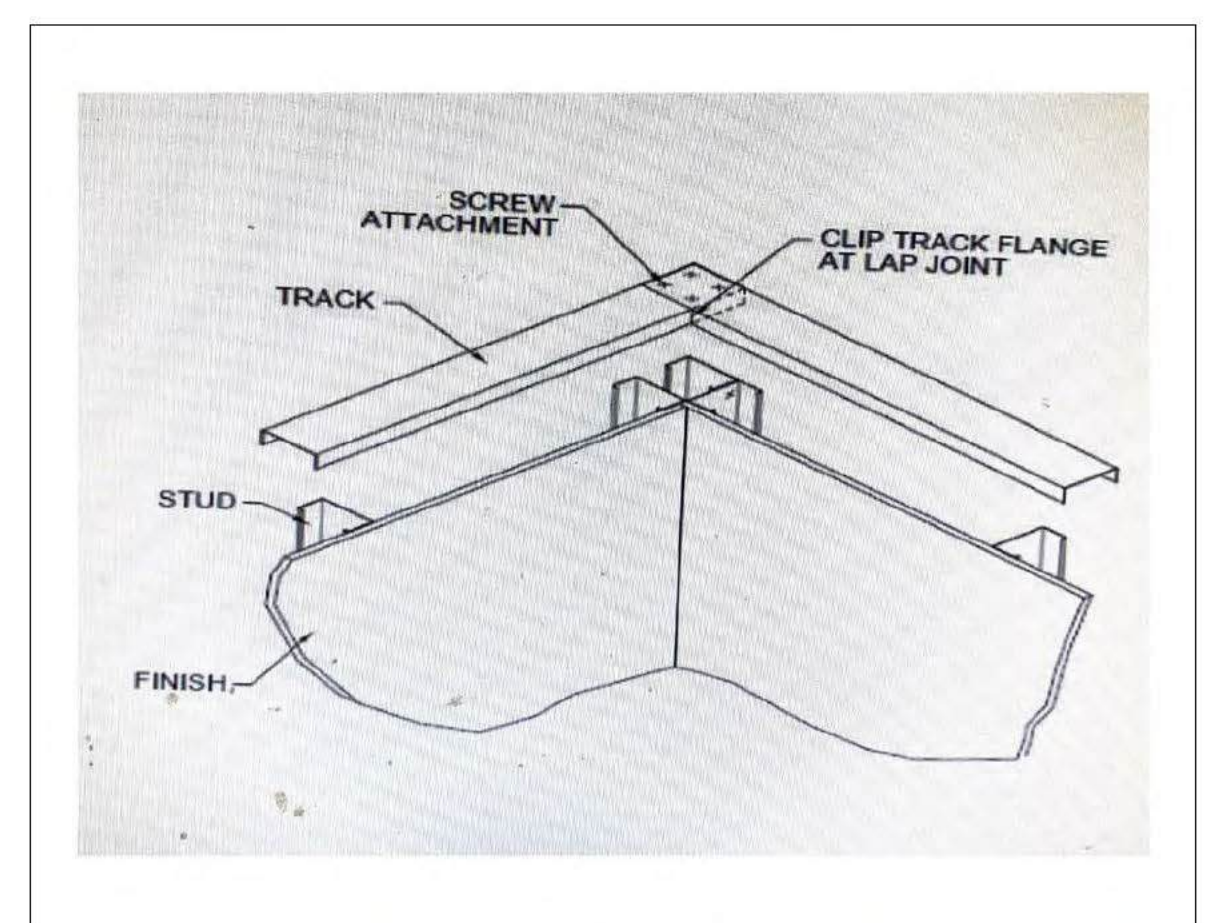
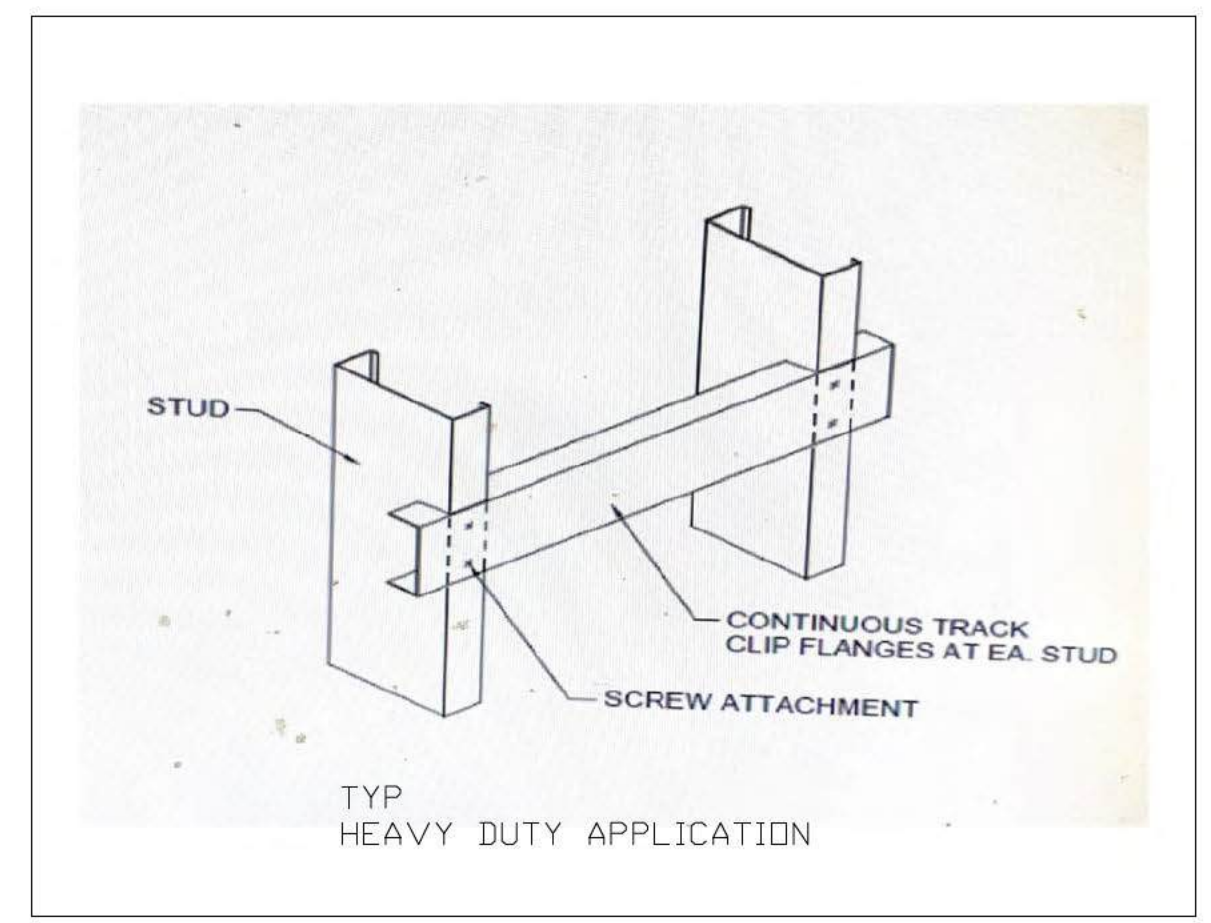
ELECTRICAL PLUMBING DETAIL



JOISTS LAP

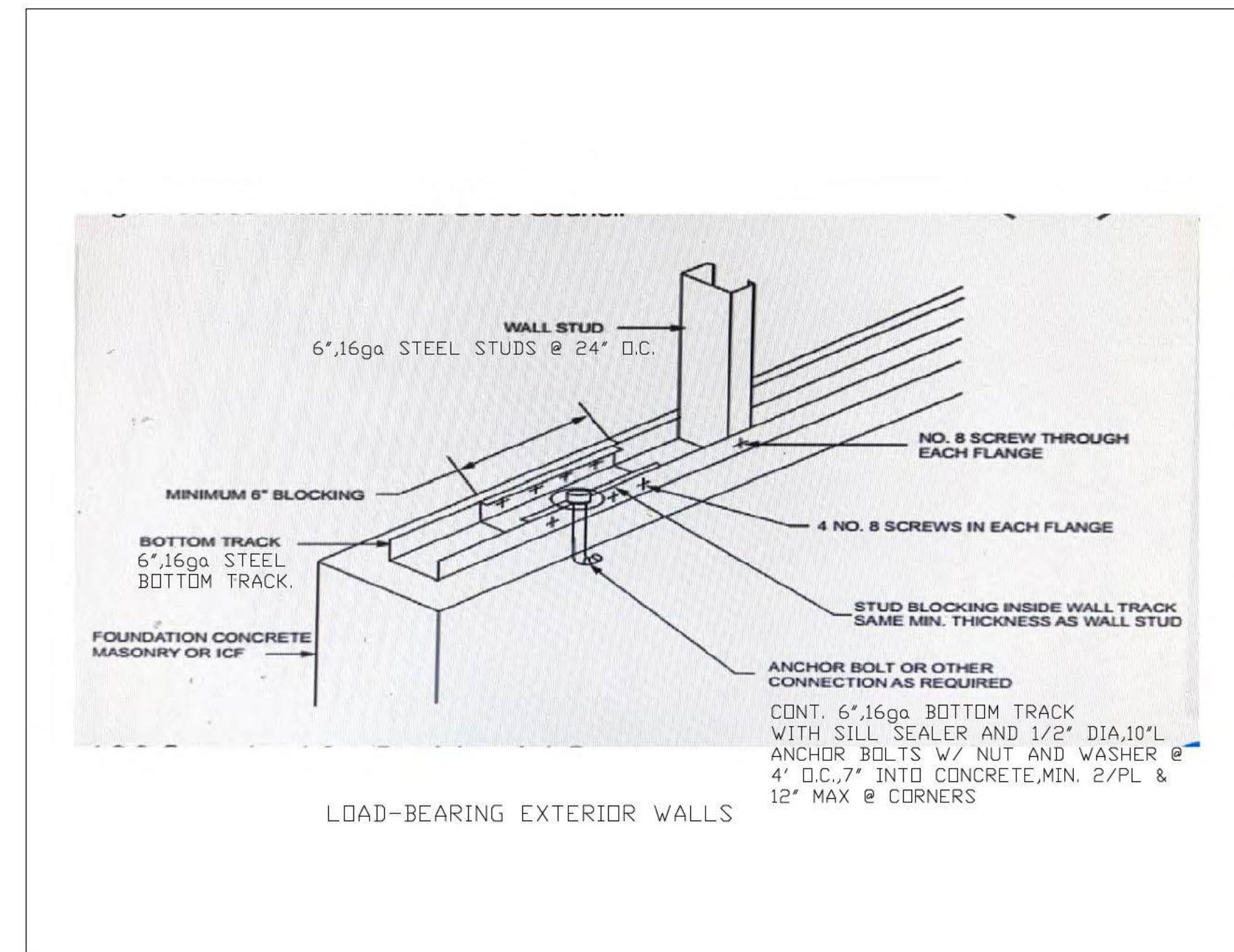


DETAIL

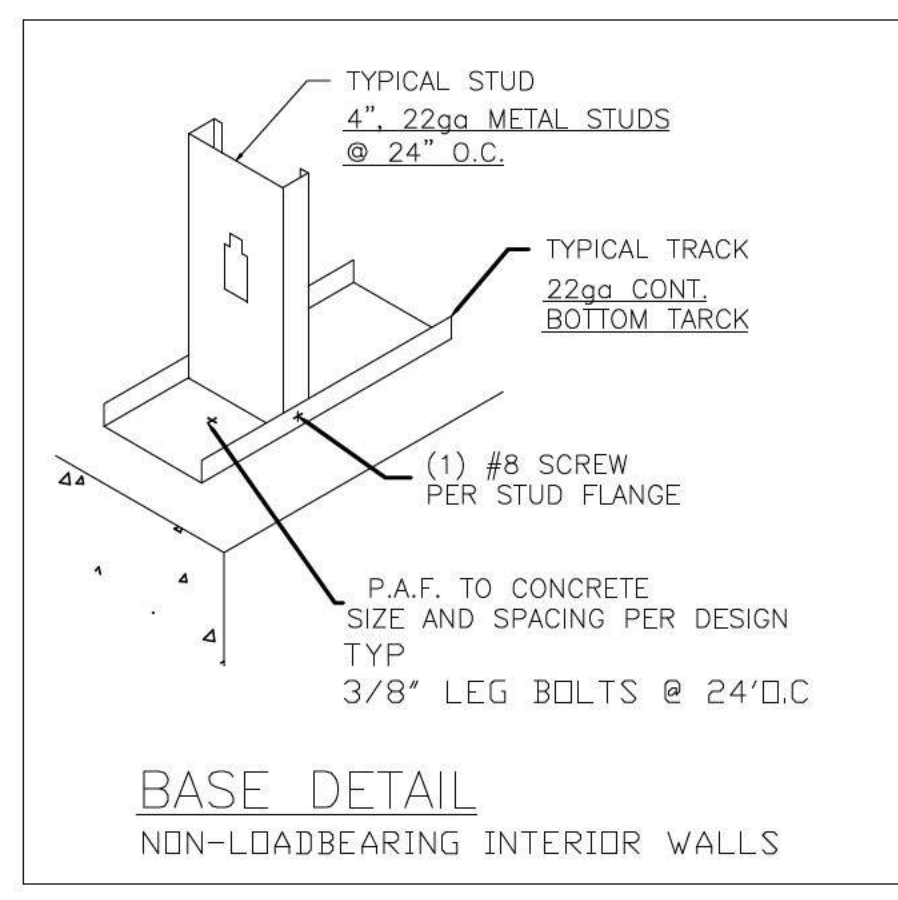


TYP. GYP. BD. WALL

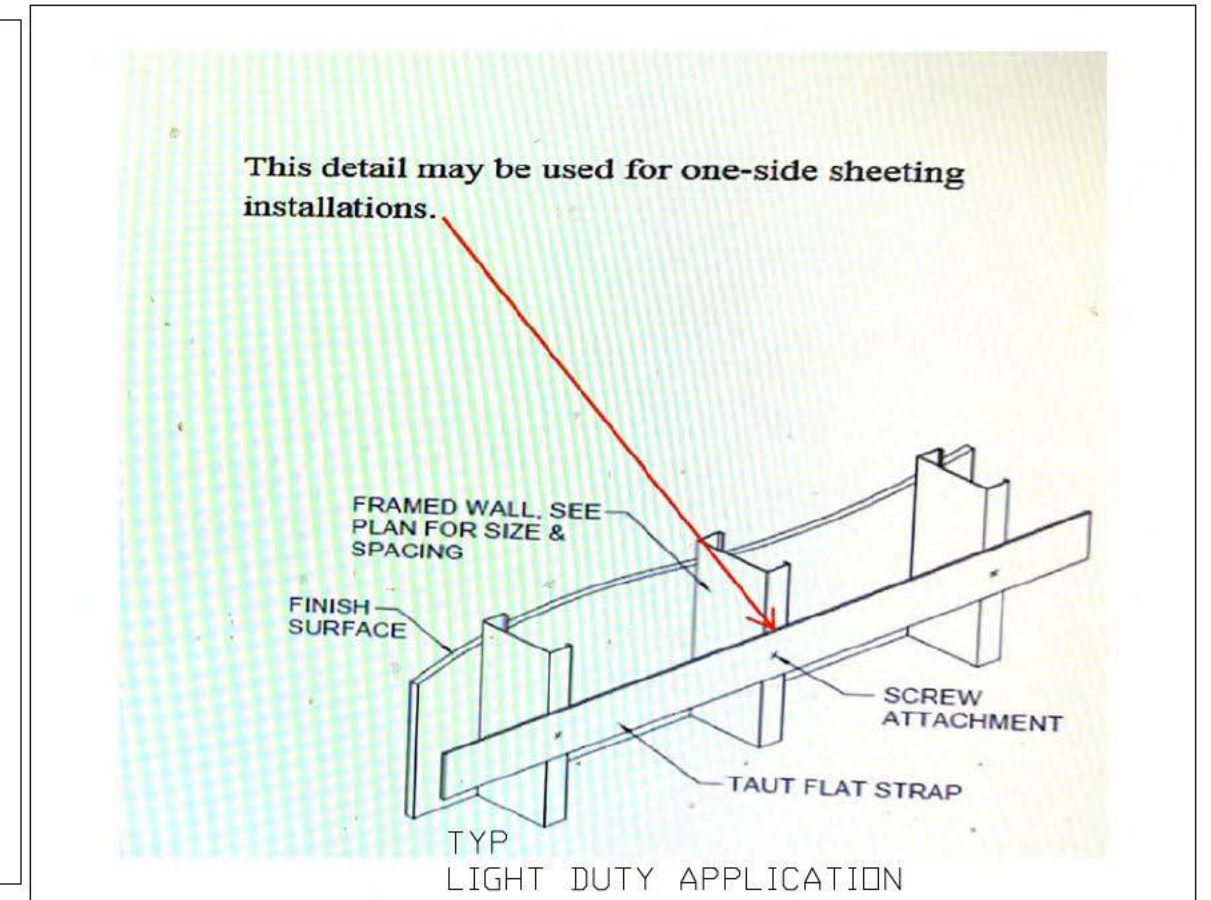
ALL GYP. BD. TRIM ON WALLS, CORNERS, ETC. TO BE TAPED IN FLUSH



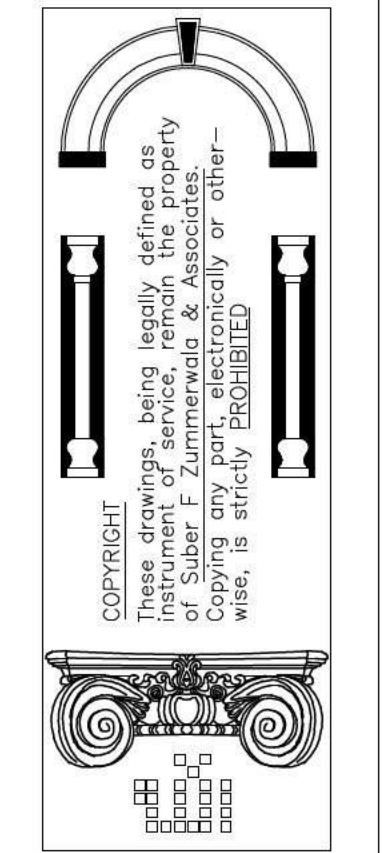
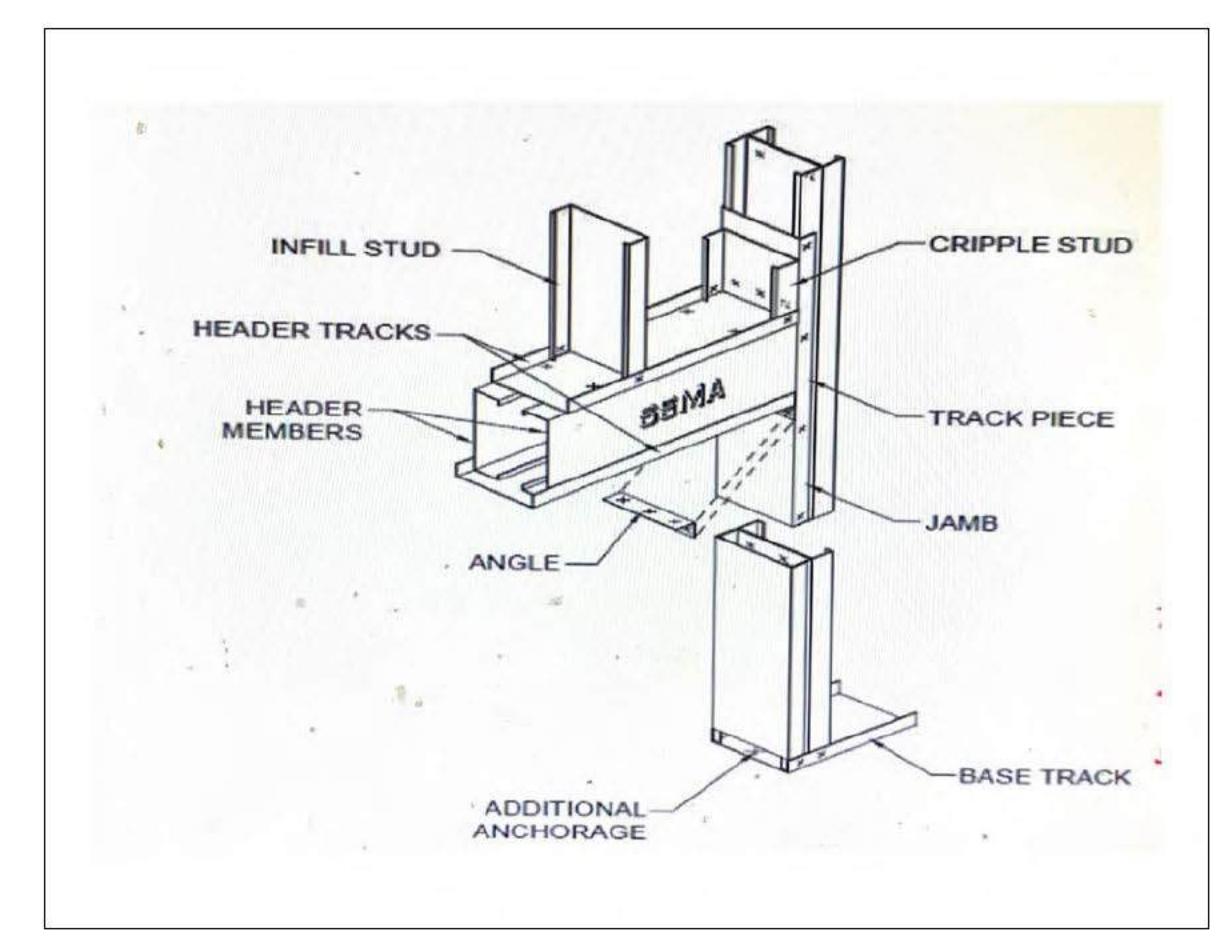
LOAD-BEARING EXTERIOR WALLS



BASE DETAIL NON-LOADBEARING INTERIOR WALLS



This detail may be used for one-side sheeting installations.

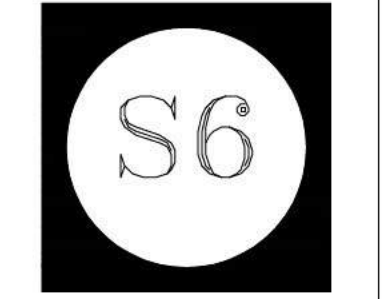


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PH: 847.951-0472
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ROOM ADDITION
AL-AZHAR ISLAMIC FOUNDATION
160 HAWTHORNE ROAD
BARRINGTON HILLS, ILLINOIS

NO.	REVISION	DATE

DRAWN BY: MK
CHECKED BY: SZ
PROJECT NO.: 23321
DATE: 04/5/24



LEGAL DESCRIPTION

PARCEL 1: THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THAT PART OF THE EAST 300 FEET OF THE WEST 612.49 FEET AS MEASURED ON THE NORTH LINE THEREOF OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE CENTER OF STATE HIGHWAY ROUTE NUMBER 63, ALSO KNOWN AS NEW DUNDEE ROAD AND SOUTH OF A LINE 627 FEET NORTHWEST OF AS MEASURED AT RIGHT ANGLES TO AND PARALLEL WITH THE CENTER LINE OF STATE HIGHWAY ROUTE NUMBER 63, IN COOK COUNTY, ILLINOIS.

SITE DATA

TOTAL SITE AREA = 10.26 ACRES NET (11.21 ACRES GROSS)
 TOTAL EXISTING IMPERVIOUS = 39047 SQ.FT.
 TOTAL REMOVED IMPERVIOUS = 1263 SQ.FT.
 TOTAL DISTURBED AREA = 0.40 ACRES

SOURCE BENCHMARK

NATIONAL GEODETIC SURVEY (NGS)
 DESIGNATION - BH21
 STATION IS LOCATED IN THE VILLAGE OF BARRINGTON HILLS, IN SECTION 16, T42N, R9E, STATION IS LOCATED AT THE WESTERLY JUNCTION OF IL RT 62 AND IL RT 68 AT THE VILLAGE OF BARRINGTON HILLS VILLAGE HALL. STATION IS LOCATED 132 FEET SOUTH OF ROUTE 62/68, 78 FEET EAST OF THE NORTHEAST CORNER OF THE BARRINGTON HILLS FIRE STATION.
 ELEVATION = 890.30' (NAVD 88)

LINE LEGEND

---	EX. WIRE FENCE
—○—○—	EX. WOOD FENCE
—○—○—	EX. GUARD RAIL
—○—○—	EX. OVERHEAD WIRES
—○—○—	EX. STORM SEWER
—XX—XX—	PROPOSED SILT FENCE

SYMBOL LEGEND

EX.	EXISTING
⊙	SEPTIC TANK LID
⊕	WELL
⊠	AIR CONDITIONER
⊞	ELECTRIC METER
⊚	GAS METER
⊞	UTILITY BOX
☆	LIGHT POLE
⊞	UTILITY POLE
⊞	SIGN
⊞	MAILBOX
⊞	GENERATOR
•	MONUMENTATION

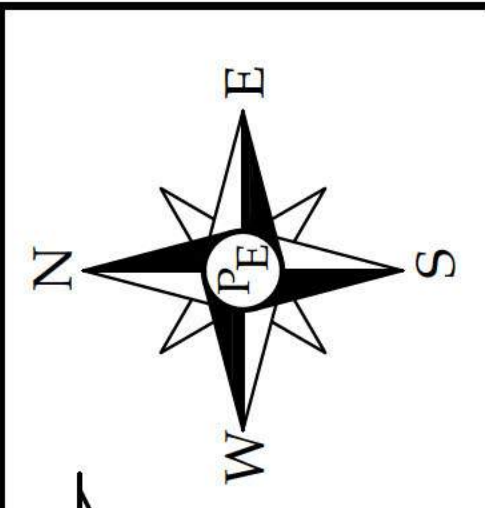
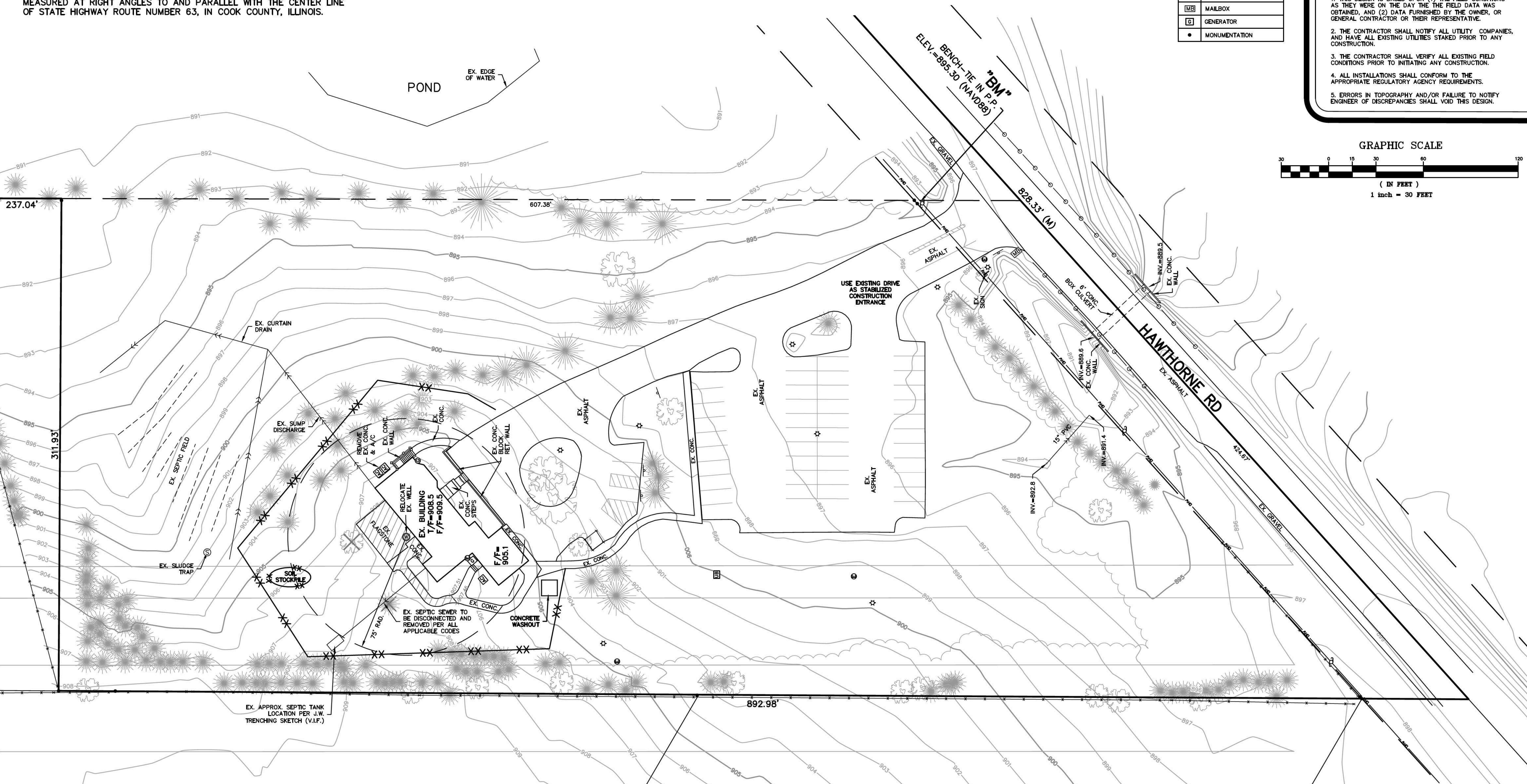
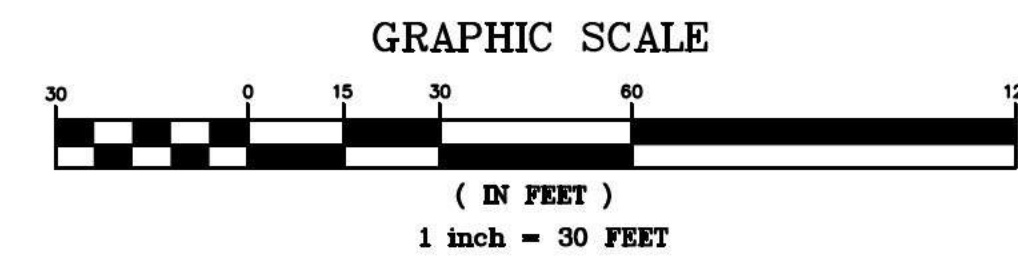
LEGEND

- = EXISTING CONTOURS
- + XXX.X EX = EXISTING GRADE
- - - = PROPOSED CONTOURS
- + XXX.X P = PROPOSED GRADE
- ⊞ = DECIDUOUS TREE
- ⊞ = CONIFEROUS TREE
- ⊞ = TREE TO BE REMOVED

NOTE: THIS LOT IS ON SEPTIC AND WELL.

GENERAL NOTES:

1. THIS DESIGN IS BASED UPON (1) THE FIELD CONDITIONS AS THEY WERE ON THE DAY THE FIELD DATA WAS OBTAINED, AND (2) DATA FURNISHED BY THE OWNER, OR GENERAL CONTRACTOR OR THEIR REPRESENTATIVE.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
4. ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
5. ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ENGINEER OF DISCREPANCIES SHALL VOID THIS DESIGN.



SCALE:
1" = 30'

POLENA ENGINEERING LLC
 WHEATON, IL 630-653-6333
 LAKE IN THE HILLS, IL 815-368-9200
 INFO@POLENA.COM
 WWW.POLENA.COM
 ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-007-190
 POLENA COMPANIES INCLUDE LAND TECHNOLOGY, LANBERT & ASSOCIATES, ALAN COULSON, HERITAGE LAND CONSULTANTS, PAI SEPTIC DESIGN, AND MCKENSKI SURVEYING

DEMO PLAN:
 160 HAWTHORNE ROAD, BARRINGTON HILLS
 PIN: 01-15-200-014
 CLIENT: MOHAMED AND JULIE RAHMAN

REVISION
 DRAWN BY: MK
 CHECKED BY: MK
 DATE: 3/13/25

PAGE 1 OF 3
 DRAWING NUMBER:
240047ST

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EXHIBIT E

SPECIAL NOTE:
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LEGAL DESCRIPTION

PARCEL 1: THAT PART OF THE WEST 312.49 FEET AS MEASURED ON THE NORTH LINE THEREOF, OF THE WEST HALF OF THE NORTH EAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF A LINE 1275.5 FEET AS MEASURED ON THE WEST LINE THEREOF, SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID NORTH EAST QUARTER AND NORTH OF THE CENTER LINE OF STATE HIGHWAY ROUTE NO. 63, IN COOK COUNTY, ILLINOIS.

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 TOTAL REMOVED IMPERVIOUS = 1263 SQ.FT.
 TOTAL PROPOSED IMPERVIOUS = 3300 SQ.FT.
 TOTAL NET IMPERVIOUS = 2037 SQ.FT.
 TOTAL DISTURBED AREA = 0.40 ACRES

DOWNSPOUT NOTE

SPLASH DOWNSPOUTS TO GRADE. **DO NOT** SPLASH DOWNSPOUTS TO HARD SURFACES SUCH AS DRIVEWAYS, WALKS, STOOPS, OR PATIOS.

LINE LEGEND

	EX. WIRE FENCE
	EX. WOOD FENCE
	EX. GUARD RAIL
	EX. OVERHEAD WIRES
	EX. STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SILT FENCE

SYMBOL LEGEND

PROF. = PROPOSED IMPROVEMENTS	EX. = EXISTING		
	SANITARY CLEAN-OUT		SEPTIC TANK LID
	SEPTIC TANK LID		WELL
	WELL		AIR CONDITIONER
	AIR CONDITIONER		ELECTRIC METER
	ELECTRIC METER		GAS METER
	GAS METER		UTILITY BOX
	LIGHT POLE		UTILITY POLE
	SIGN		MAILBOX
	MAILBOX		GENERATOR
	MONUMENTATION		

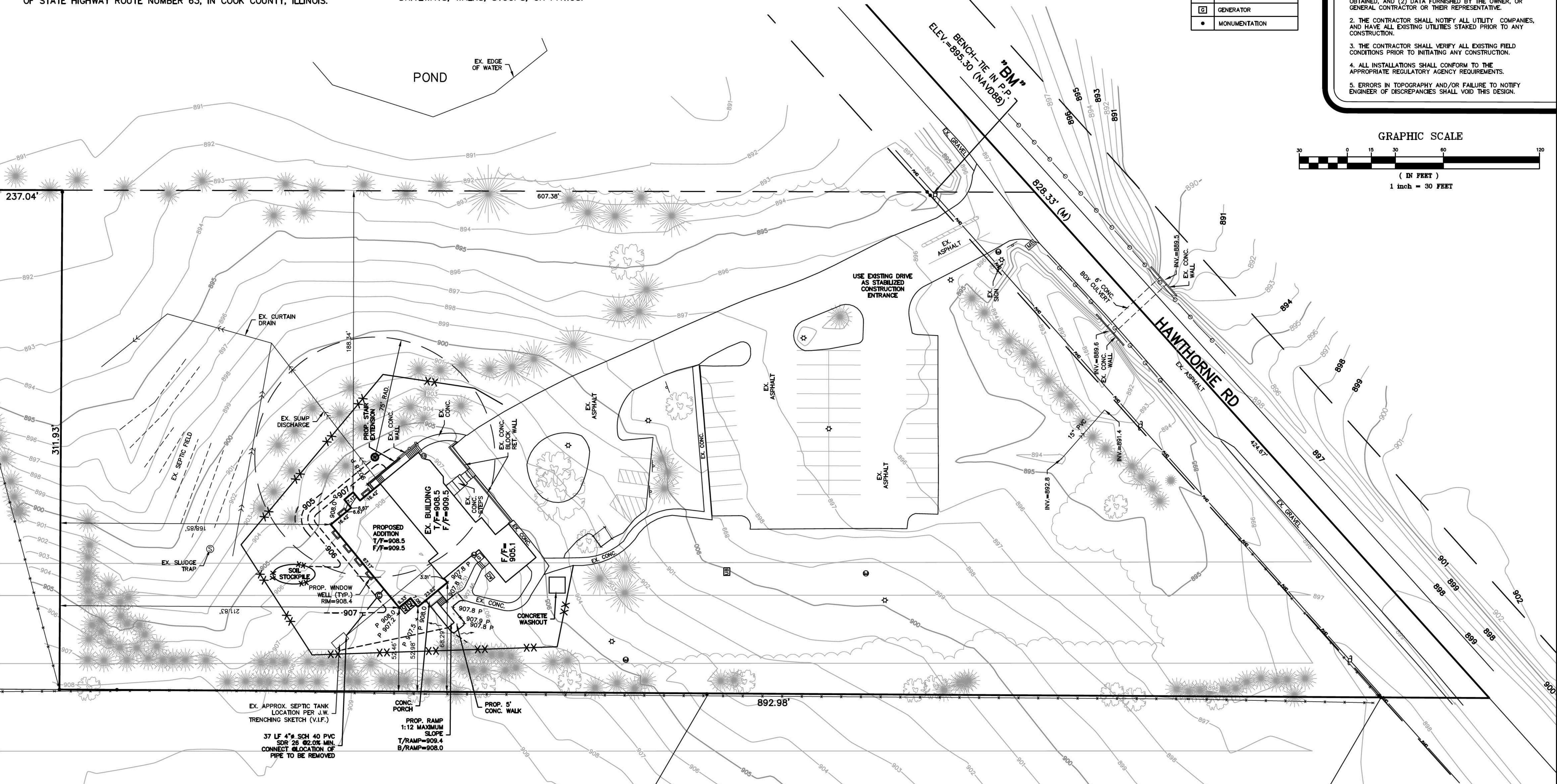
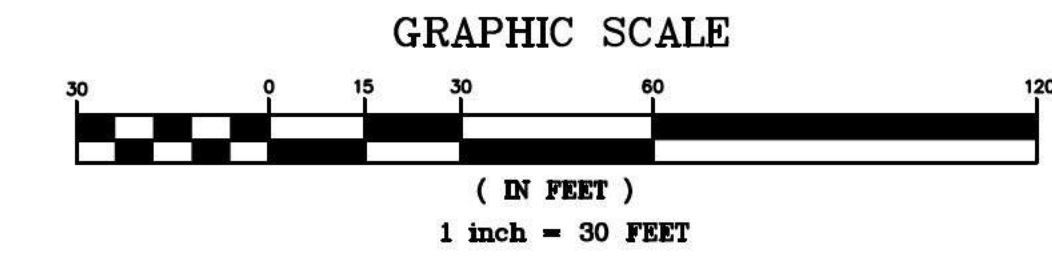
LEGEND

- = EXISTING CONTOURS
- + XXX.X EX = EXISTING GRADE
- = PROPOSED CONTOURS
- + XXX.X P = PROPOSED GRADE
-
-
-

NOTE: THIS LOT IS ON SEPTIC AND WELL.

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SEPTIC NOTE:

EXISTING LF OF SEPTIC PER J. & W. TRENCHING INSTALLER SKETCH DATED 6/5/82 = 600 LF
 EXISTING SEPTIC:
 CURRENT OCCUPANCY PERMIT: 136 PERSONS
 LINEAR LOADING RATE (CHURCH W/OUT KITCHEN): 3 GAL/DAY
 SOIL LOADING RATE = 0.4/SQ.FT.
 REQUIRED SEPTIC LATERALS = (136*3)/0.4/3 = 340 LF < 600 LF
 CURRENT SEPTIC SATISFIES REQUIREMENT
 MAXIMUM CAPACITY = (600*3)*0.4/3 = 240 PERSONS

SPECIAL NOTE:

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 LAKE IN THE HILLS, IL 60155-3669
 INFO@POLENA.COM
 WWW.POLENA.COM
 ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-007190

SITE PLAN:
 160 HAWTHORNE ROAD, BARRINGTON HILLS
 PIN: 01-15-200-014
 CLIENT: MOHAMED AND JULIE RAHMAN

REVISION

DRAWN BY: MK
 CHECKED BY: MK
 DATE: 3/13/25

PAGE 2 OF 3

DRAWING NUMBER:
240047ST

**LAKE COUNTY STORMWATER MANAGEMENT COMMISSION
SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES**

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- C. SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- E. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- F. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- G. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.
- I. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- J. STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- K. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- L. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER.
- M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- O. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

U:\Regulatory Program\SESC handouts\SE-SC Notes 2013 TAC-approved.docx



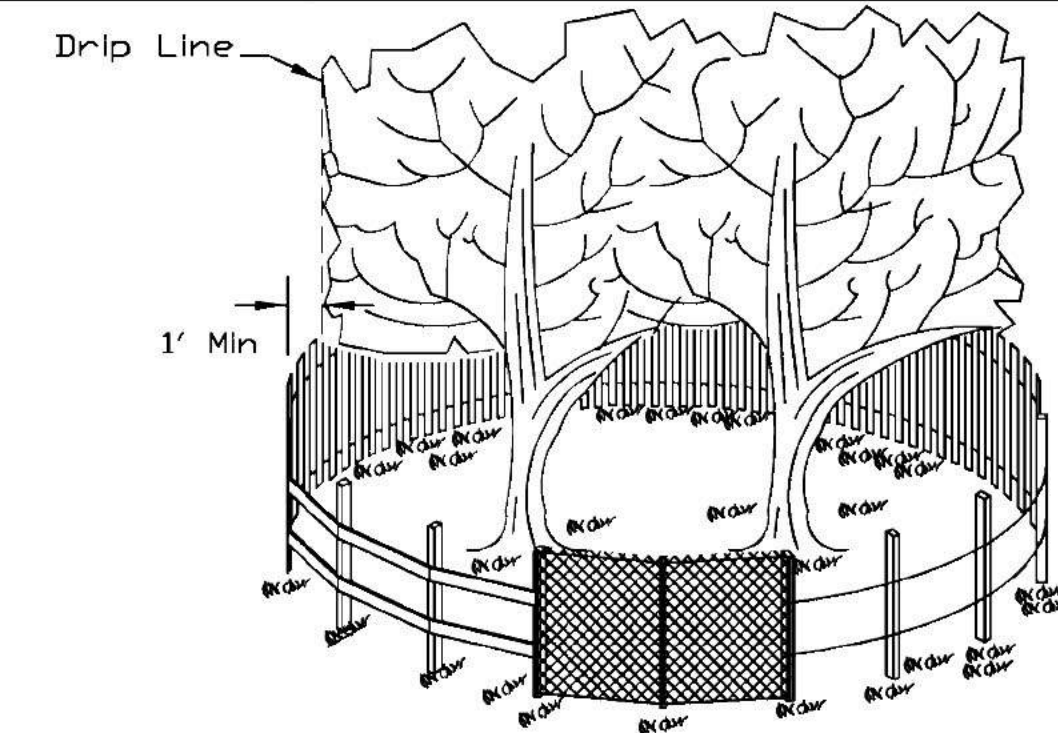
STORMWATER MANAGEMENT COMMISSION

TYPICAL CONSTRUCTION SEQUENCING

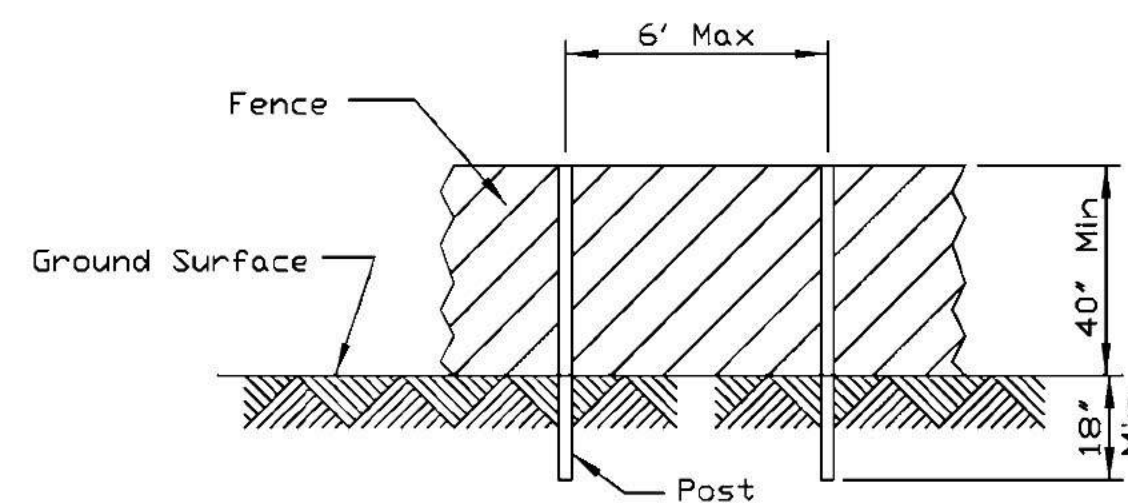
- 1.) Installation of soil erosion and sediment control SE/SC measures
 - a.) Selective vegetation removal for silt fence installation
 - b.) Silt fence installation
 - c.) Construction fencing around areas not to be disturbed
 - d.) Stabilized construction entrance
 - 2.) Tree removal where necessary (clear & grub)
 - 3.) Construct sediment trapping devices (sediment traps, basins...)
 - 4.) Construct detention facilities and outlet control structure with restrictor & temporary perforated riser
 - 5.) Strip topsoil, stockpile topsoil and grade site
 - 6.) Temporarily stabilize topsoil stockpiles (seed and silt fence around toe of slope)
 - 7.) Install storm sewer, sanitary sewer, water and associated inlet & outlet protection
 - 8.) Permanently stabilize detention basins with seed and erosion control blanket
 - 9.) Temporarily stabilize all areas including lots that have reached temporary grade
 - 10.) Install roadways
 - 11.) Permanently stabilize all outlot areas
 - 12.) Install structures and grade individual lots
 - 13.) Permanently stabilize lots
 - 14.) Remove all temporary SE/SC measures after the site is stabilized with vegetation
- * Soil erosion and sediment control maintenance must occur every two weeks and after every 1/2 or greater rainfall event

U:\Regulatory Program\SESC handouts\TYPICAL CONSTRUCTION SEQUENCING.doc

TREE PROTECTION - FENCING



SIDE VIEW



POST AND FENCE DETAIL

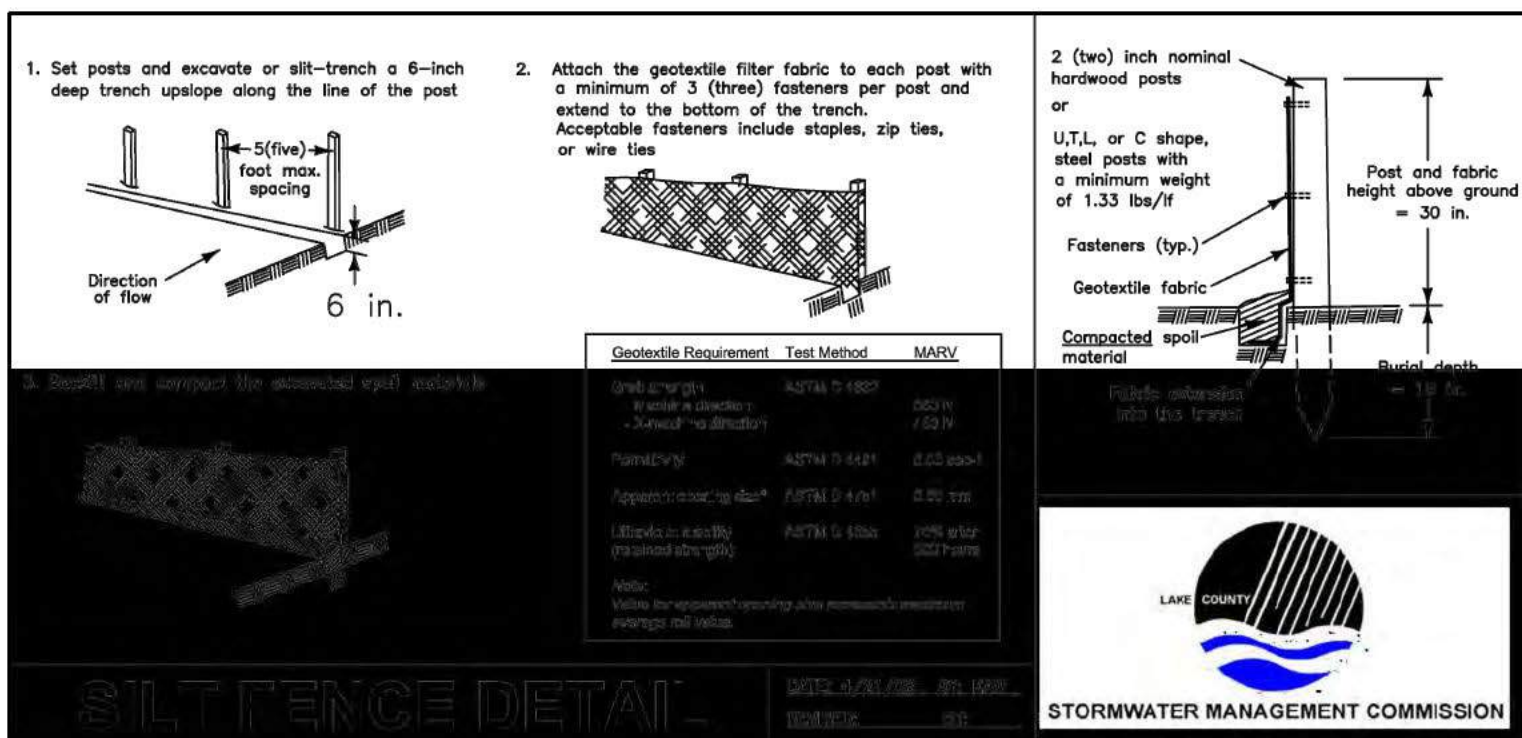
NOTES:

1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 5 feet to the trunk of any tree.
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
3. The fence may be either 40' high snow fence, 40' plastic web fencing or any other material as approved by the engineer/inspector.

REFERENCE	
Project	_____ Date _____
Designed	_____ Date _____
Checked	_____ Date _____
Approved	_____ Date _____

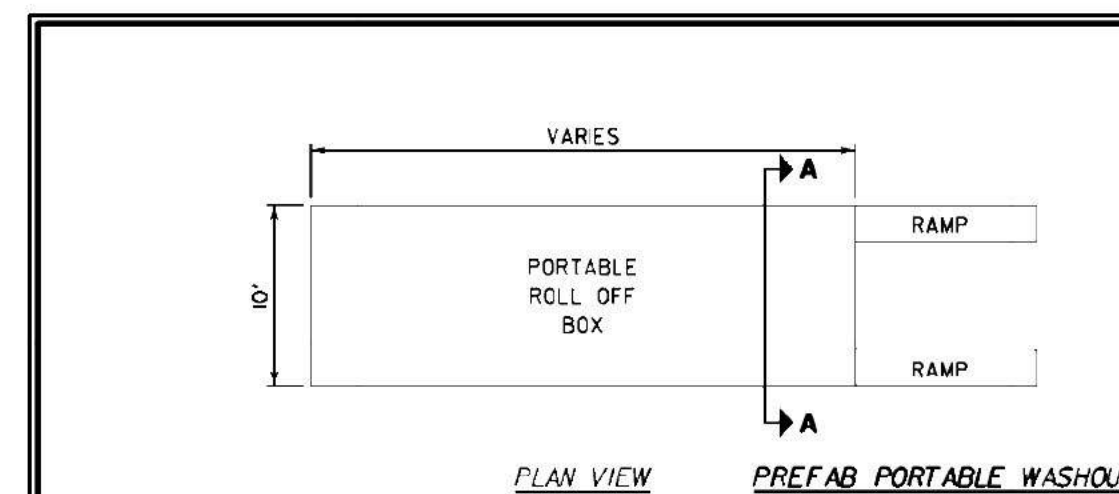


STANDARD DWG. NO.	IL-690
SHEET	1 OF 1
DATE	4-7-94

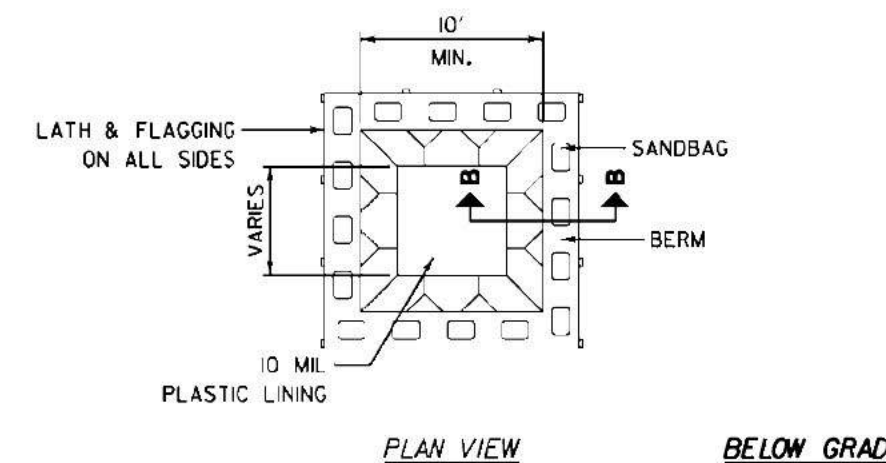


BARRINGTON HILLS NOTES:

1. THE DESIGN ENGINEER SHALL APPROVE THE LAYOUT OF THE SEPTIC SYSTEM INSTALLATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
2. THE DESIGN ENGINEER AND VILLAGE REPRESENTATIVE SHALL REVIEW THE SEPTIC SYSTEM INSTALLATION PRIOR TO COMMENCEMENT OF ANY BACKFILLING.
3. THE INSTALLER SHALL NOTIFY THE DESIGN ENGINEER OF THE PRECISE TIME SCHEDULE FOR THIS PROJECT 2 DAYS IN ADVANCE OF INITIATING ANY CONSTRUCTION, AND SHALL UPDATE THE ENGINEER OF ANY DELAYS.



PREFAB PORTABLE WASHOUT



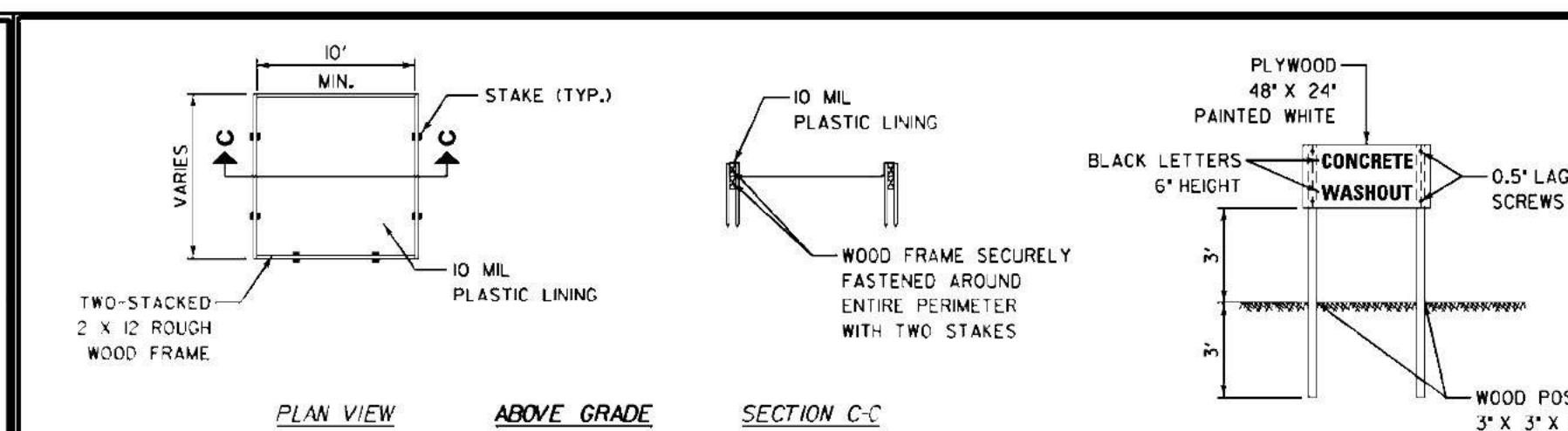
BELOW GRADE

NOTES:

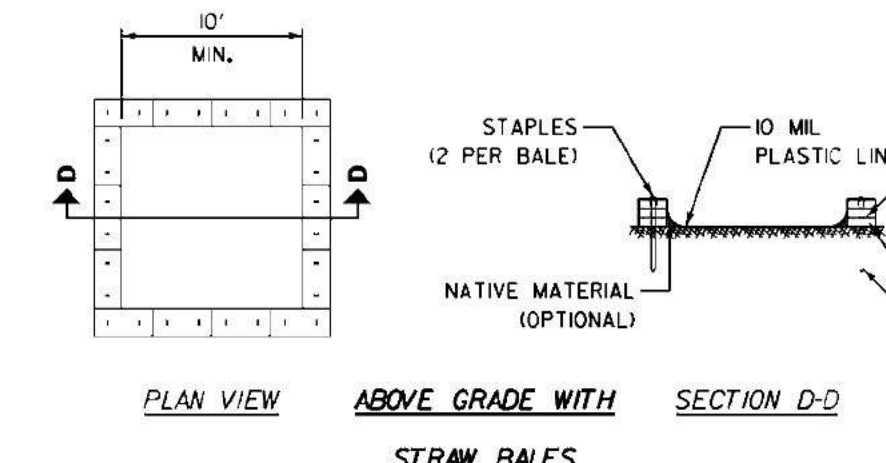
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. OTHER WASHOUT DESIGNS MAY BE USED IF APPROVED BY THE ENGINEER.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

REVISIONS	DATE	APPROVED BY: M.C.Z.	DATE: March 17, 2008

CONCRETE WASHOUT FACILITIES



ABOVE GRADE



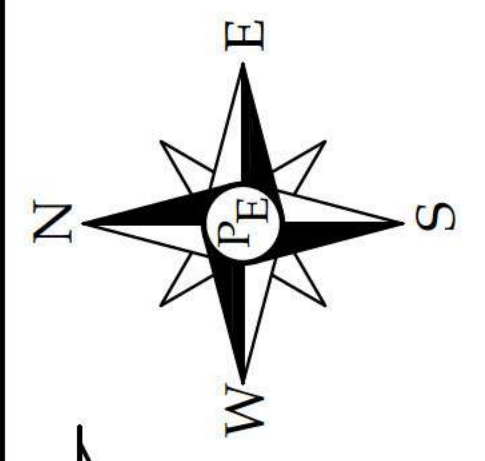
ABOVE GRADE WITH STRAW BALES

NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. OTHER WASHOUT DESIGNS MAY BE USED IF APPROVED BY THE ENGINEER.
3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

REVISIONS	DATE	APPROVED BY: M.C.Z.	DATE: March 17, 2008

CONCRETE WASHOUT FACILITIES



SCALE: 1" = 30'

POLENA ENGINEERING LLC
 WHEATON, IL 60157-6333
 LAKE IN THE HILLS, IL 60155-3669
 INFO@POLENA.COM
 WWW.POLENA.COM
 ILLINOIS PROFESSIONAL DESIGN FIRM #0184-007-190

POLENA COMPANIES INCLUDE LAND TECHNOLOGY, LANBERT & ASSOCIATES, ALAN COULSON, HERITAGE LAND CONSULTANTS, PAI SEPTIC DESIGN, AND MIONESE SURVEYING

DETAILS:
 160 HAWTHORNE ROAD, BARRINGTON HILLS
 PIN: 01-15-200-014
 CLIENT: MOHAMED AND JULIE RAHMAN

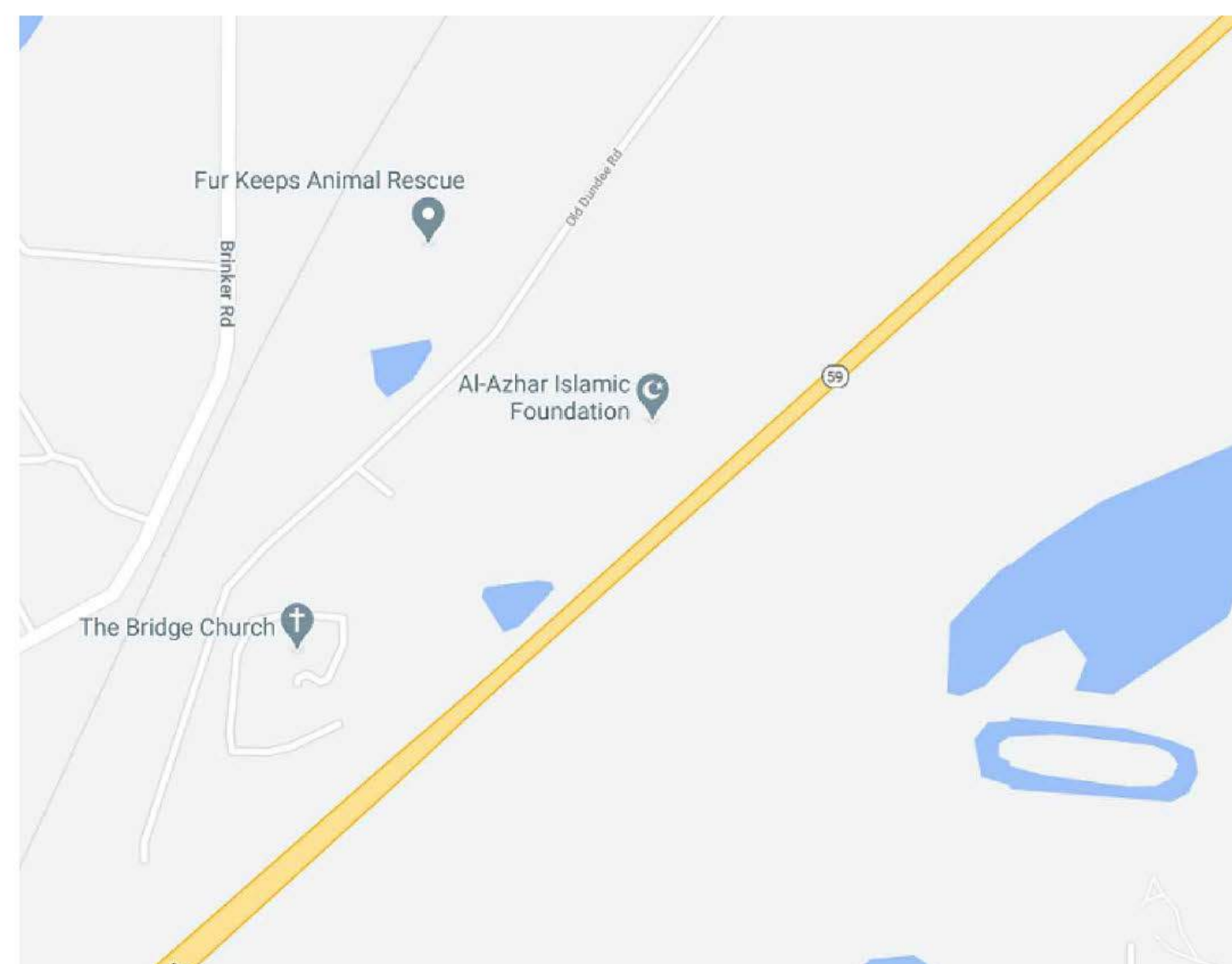
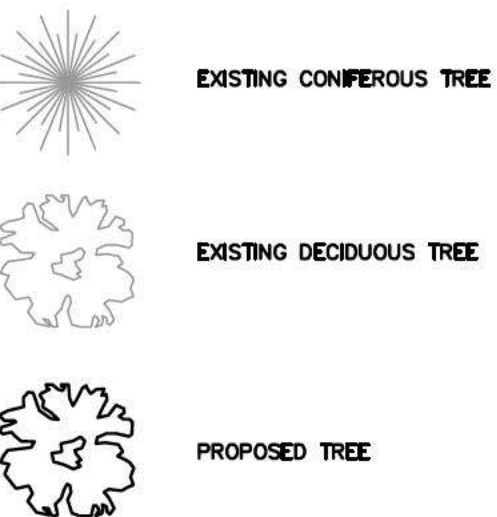
REVISIONS

DRAWN BY: MK
 CHECKED BY: MK
 DATE: 3/13/25

SYMBOL LEGEND	
PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING
① STORM MANHOLE	① STORM MANHOLE
⊕ CATCH BASIN	⊕ CURB CATCH BASIN
① INLET	① SEPTIC TANK LID
⊕ CURB STORM MANHOLE	⊕ WELL
⊕ CURB CATCH BASIN	⊕ UTILITY BOX
⊕ CURB INLET	⊕ UTILITY POLE
⊕ WATER VALVE VAULT	⊕ MONUMENTATION
⊕ WATER VALVE	⊕ SEPTIC SOIL BORINGS
⊕ HYDRANT	
⊕ B-BOX	
⊕ SANITARY MANHOLE	
⊕ SANITARY CLEAN-OUT	
⊕ AERATOR TANK LID	
⊕ LIFT STATION LID	
⊕ SEPTIC TANK LID	
⊕ WELL	
⊕ FOUNDATION SOIL BORING	
⊕ AIR CONDITIONER	
⊕ ELECTRIC METER	
⊕ GAS METER	
⊕ UTILITY BOX	
⊕ TRANSFORMER	
⊕ LIGHT POLE	
⊕ UTILITY POLE	
⊕ GUY WIRE	
⊕ SIGN	
⊕ MAILBOX	
⊕ STEEL POST	

LINE LEGEND	
—	EX. METAL FENCE
—	EX. WOOD FENCE
—	EX. BURIED ELECTRIC LINE
—	EX. BURIED GAS LINE
—	EX. BURIED TELEPHONE CABLE
—	EX. OVERHEAD WIRES
—	EX. WATER MAIN
—	EX. SANITARY SEWER
—	EX. STORM SEWER
—	PROPOSED SANITARY SEWER
—	PROPOSED STORM SEWER
—	PROPOSED WATER MAIN
—	PROPOSED SILT FENCE
—	PROP UNDERGROUND UTILITIES
—	PROPOSED R.O.W.

— PROPOSED FINISH CONTOUR
 — EXISTING CONTOUR
 P 000.0 + PROPOSED GRADE
 EX 000.0 + EXISTING GRADE



LOCATION MAP
 COURTESY OF GOOGLE

SPECIAL NOTES:
 "THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO". THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE OF THE ENGINEER ON THE TITLE PAGE OF A BOUND SET.

PRELIMINARY ENGINEERING FOR *AL-AZHAR* 160 HAWTHORNE RD BARRINGTON HILLS, ILLINOIS

OWNER
 AL-AZHAR ISLAMIC FOUNDATION
 160 HAWTHORNE
 BARRINGTON HILLS

CONTRACTOR

INDEX

SHEET NO.	DESCRIPTION
01.	TITLE SHEET
02.	EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN
03.	SITE GRADING PLAN

EXHIBIT F

**CIVIL ENGINEERING AND LAND SURVEYING
 PREPARED BY:**

SAM POLENA, PE – CIVIL ENGINEER

WWW.LT-PE.COM WWW.LAMBERTSURVEY.COM

Land Technology **Lambert & Associates**

CIVIL ENGINEERING AND LAND SURVEYING PROFESSIONALS

MCHENRY OFFICE **WHEATON OFFICE**
 815-363-9200 630-653-6331
 LANDTECH@LT-PE.COM INFO@LAMBERTSURVEY.COM



POLENA ENGINEERING LLC COMPANIES

ZONING

INCORPORATED BARRINGTON HILLS
 ZONING DESIGNATION: R1

OVERALL SITE DATA

TOTAL SITE AREA = 5.40 ACRES
 TOTAL PROPOSED IMPERVIOUS = 92556 SQ.FT.
 TOTAL REMOVED IMPERVIOUS = 29047 SQ.FT.
 NET IMPERVIOUS ADDED = 63509 SQ.FT. = 1.46 ACRES
 MAX IMPERVIOUS = 50% = 2.70 ACRES
 TOTAL DISTURBED AREA = 3 ACRES

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 LAND TECHNOLOGY
 3922 W. MAIN STREET
 MCHENRY, ILLINOIS, 60050
 AND/OR
 LAMBERT & ASSOCIATES
 955 W. LIBERTY DRIVE
 WHEATON, ILLINOIS, 60187
 ALL LEGAL RIGHTS RESERVED.



LAMBERT & ASSOCIATES
 933 W. LIBERTY DR
 WHEATON, IL 60187
 P: (630)653-6331
 F: (630)653-6396
 E: INFO@LAMBERTSURVEY.COM

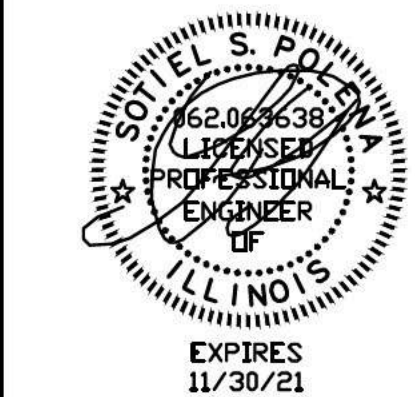
CIVIL ENGINEERING AND LAND SURVEYING SERVICES

LAND TECHNOLOGY
 P: (815)363-9200
 F: (815)363-9223
 E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
 No. 184-007260

TITLE SHEET:

160 HAWTHORNE RD, BARRINGTON HILLS
 PIN: 01-16-200-007
 CLIENT: AL-AZHAR



DRAWN BY: SSP/DTM
 CHECK'D BY: SSP
 DATE: 9/10/20

PAGE 1 OF 3
 DRAWING NUMBER:
 18-251L

SPECIAL NOTE:
 "THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO"

SITE DATA
 TOTAL SITE AREA = 5.40 ACRES
 TOTAL REMOVED IMPERVIOUS = 29047.0 SQ.FT. = 0.667 ACRES
 TOTAL DISTURBED AREA = 2.5 ACRES

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 LAND TECHNOLOGY AND LAMBERT & ASSOCIATES
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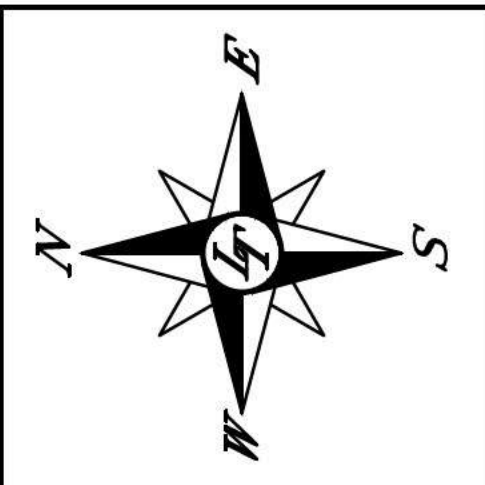
LINE LEGEND	
	EX. WIRE FENCE
	EX. WOOD FENCE
	EX. OVERHEAD WIRES
	EX. BURIED ELECTRIC LINE
	EX. BURIED GAS LINE
	EX. STORM SEWER
	PROPOSED SILT FENCE
	SEPTIC PROTECTION FENCE

SYMBOL LEGEND	
	EX. = EXISTING
	SEPTIC TANK LID
	WELL
	AIR CONDITIONER
	ELECTRIC METER
	GAS METER
	LIGHT POLE
	MAILBOX
	STEEL POST
	UTILITY POLE
	MONUMENTATION

LEGEND	
	EXISTING CONTOURS
	+ 766.0 EX = EXISTING GRADE
	EXISTING IMPROVEMENT TO DEMO
	TREE TO BE REMOVED
	CONIFEROUS TREE
	DECIDUOUS TREE

GENERAL NOTES:

1. THIS DESIGN IS BASED UPON (1) THE FIELD CONDITIONS AS THEY WERE ON THE DAY THE FIELD DATA WAS OBTAINED, AND (2) DATA FURNISHED BY THE OWNER, OR GENERAL CONTRACTOR OR THEIR REPRESENTATIVE.
2. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
4. ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
5. ERRORS IN TOPOGRAPHY AND/OR FAILURE TO NOTIFY ENGINEER OF DISCREPANCIES SHALL VOID THIS DESIGN.



SCALE:
 1" = 30'



LAMBERT & ASSOCIATES
 933 W. LIBERTY DR
 WHEATON, IL 60187
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 F: (630)653-6396
 E: INFO@LAMBERTSURVEY.COM

CIVIL ENGINEERING AND LAND SURVEYING SERVICES

LAND TECHNOLOGY
 P: (815)363-9200
 F: (815)363-9223
 E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
 No. 184-007260

DEMO PLAN:

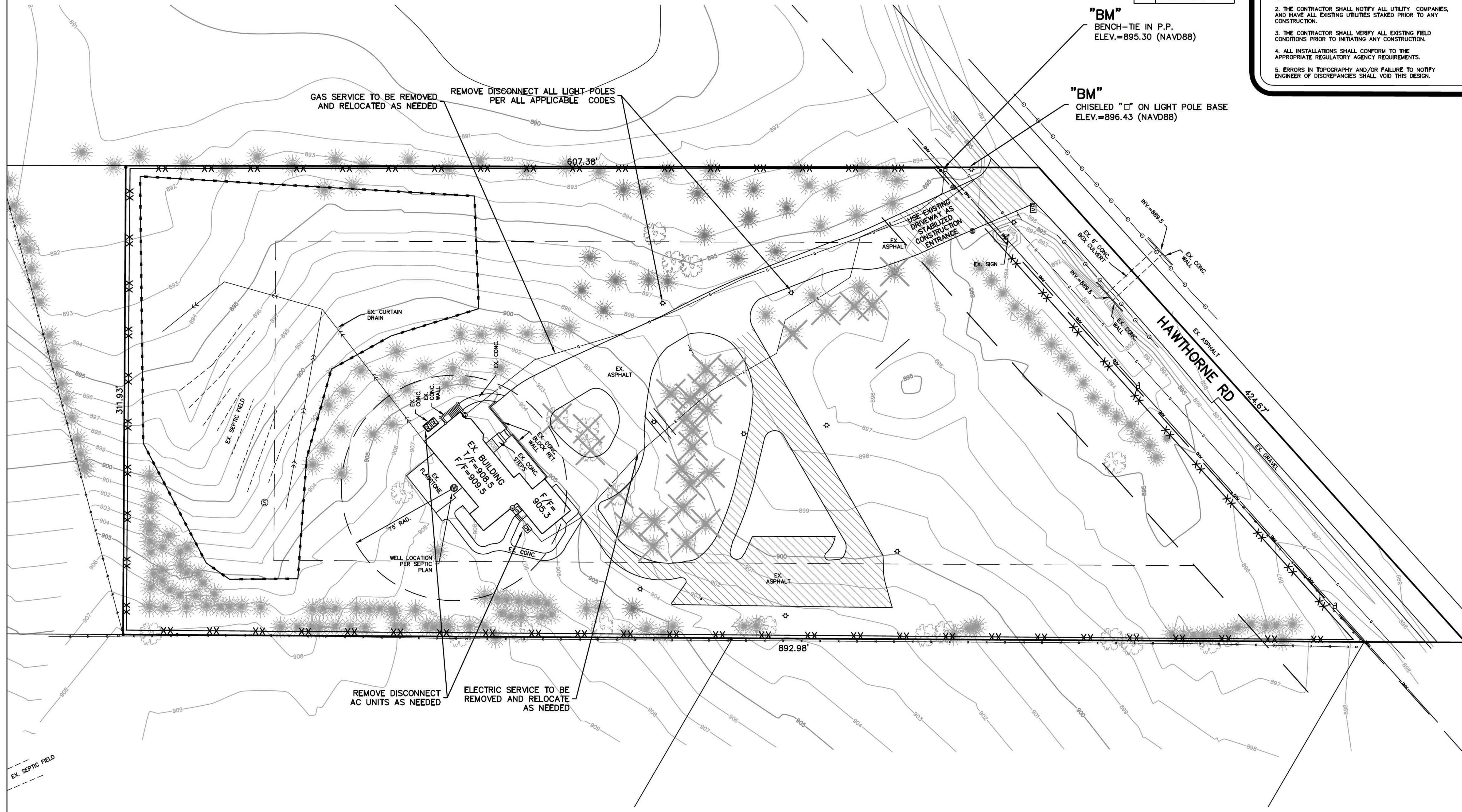
160 HAWTHORNE RD, BARRINGTON HILLS
 PIN: 01-15-200-007
 CLIENT: AL-AZHAR

REVISIONS:	
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 CHECK'D BY: SSP
 DATE: 9/10/20

PAGE 2 OF 3
 DRAWING NUMBER:
 18-251L



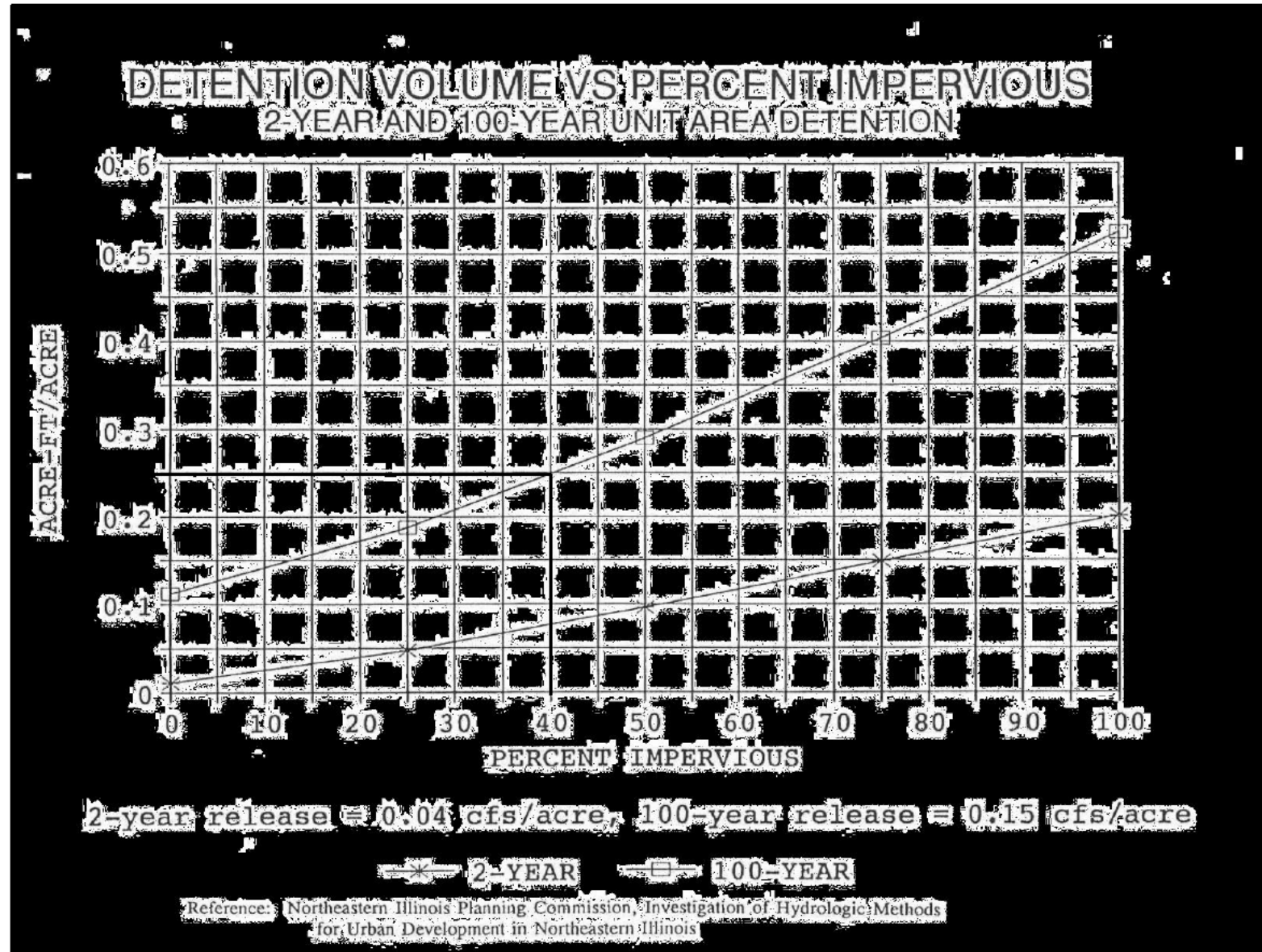
GAS SERVICE TO BE REMOVED AND RELOCATED AS NEEDED
 REMOVE DISCONNECT ALL LIGHT POLES PER ALL APPLICABLE CODES

"BM"
 BENCH-TIE IN P.P.
 ELEV.=895.30 (NAVD88)

"BM"
 CHISELED "□" ON LIGHT POLE BASE
 ELEV.=896.43 (NAVD88)

REMOVE DISCONNECT AC UNITS AS NEEDED
 ELECTRIC SERVICE TO BE REMOVED AND RELOCATE AS NEEDED

EX. SEPTIC FIELD



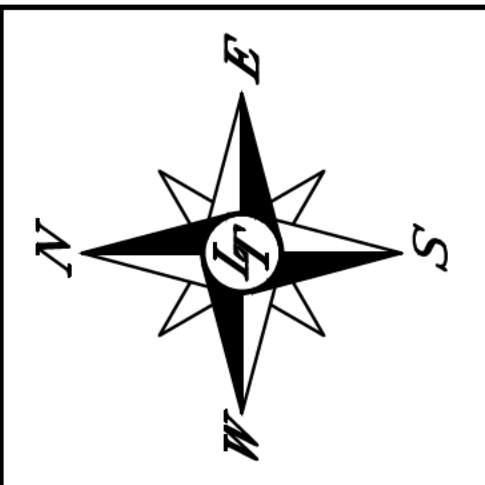
LINE LEGEND	
	EX. WIRE FENCE
	EX. WOOD FENCE
	EX. CHAINLINK FENCE
	EX. OVERHEAD WIRES
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROPOSED SILT FENCE

SYMBOL LEGEND	
PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING
	⊕ STORM MANHOLE
	⊖ INLET
	⊗ WATER VALVE
	⊕ HYDRANT
	⊕ B-BOX
	⊕ SANITARY MANHOLE
	⊕ SANITARY CLEAN-OUT
	⊕ AIR CONDITIONER
	⊕ ELECTRIC METER
	⊕ GAS METER
	⊕ UTILITY POLE
	• MONUMENTATION

LEGEND	
	EXISTING CONTOURS
	+ 766.0 EX = EXISTING GRADE
	EXISTING CONTOURS
	+ 766.0 P = PROPOSED GRADE
	DECIDUOUS TREE
	CONIFEROUS TREE
	PROPOSED TREE

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SCALE:
1" = 30'



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WHEATON, IL 60187
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CIVIL ENGINEERING AND LAND SURVEYING SERVICES

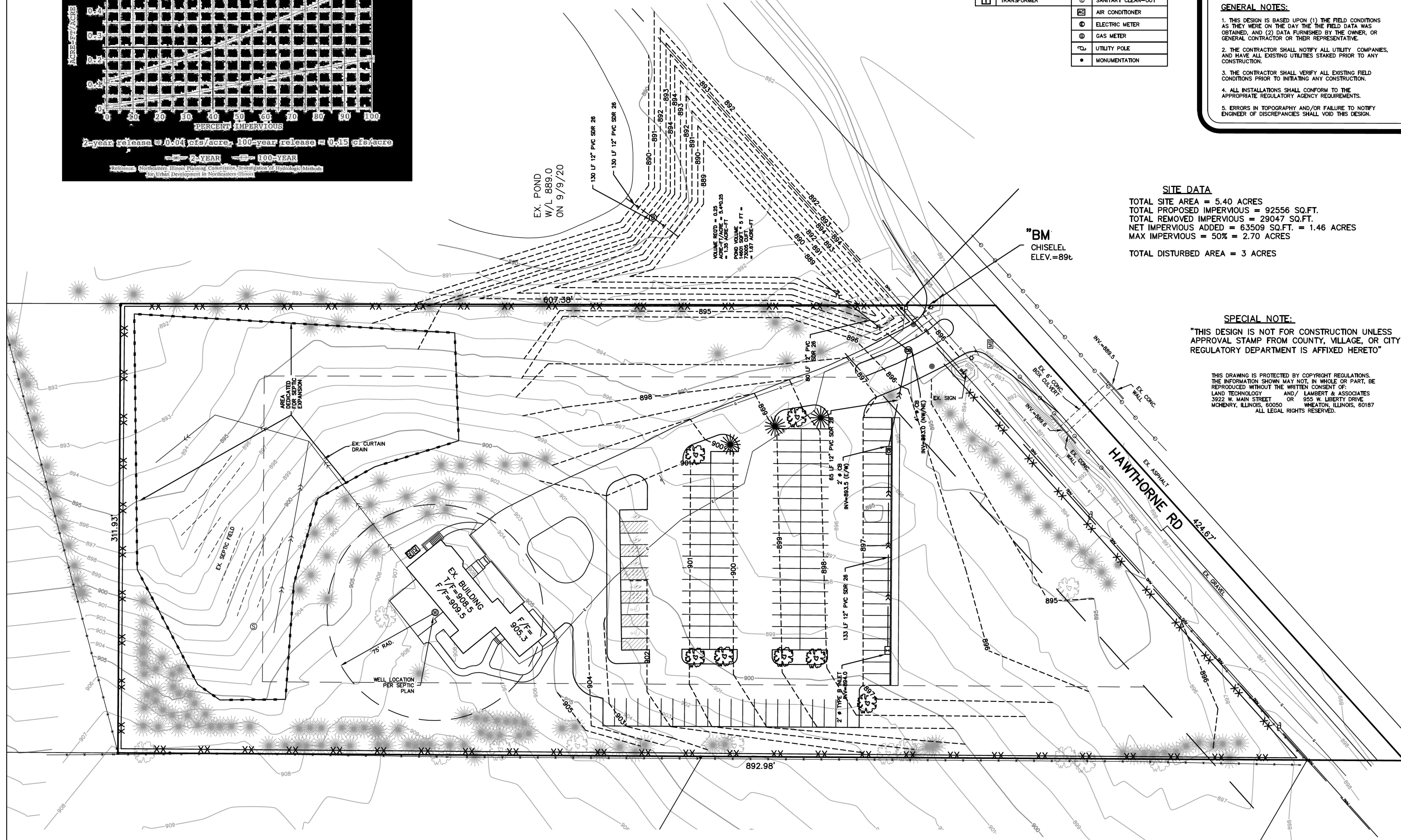
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E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
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TOTAL REMOVED IMPERVIOUS = 29047 SQ.FT.
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LAND TECHNOLOGY AND LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 955 W. LIBERTY DRIVE
WHEATON, ILLINOIS, 60050
ALL LEGAL RIGHTS RESERVED.



SITE GRADING PLAN:
160 HAWTHORNE RD, BARRINGTON HILLS
PIN: 01-15-200-007
CLIENT: AL-AZHAR



DRAWN BY: SSP/DTM
CHK'D BY: SSP
t:\2018\18251L\18-251ST 9-10-20.dwg
DATE: 9/10/20
PAGE 3 OF 3
DRAWING NUMBER:
18-251L